

PRELIMINARY & FINAL SITE PLAN RESIDENTIAL DEVELOPMENT

BLOCK 4201.01, LOT 33.03 GROVERS MILL ROAD TOWNSHIP OF LAWRENCE COUNTY OF MERCER, NEW JERSEY

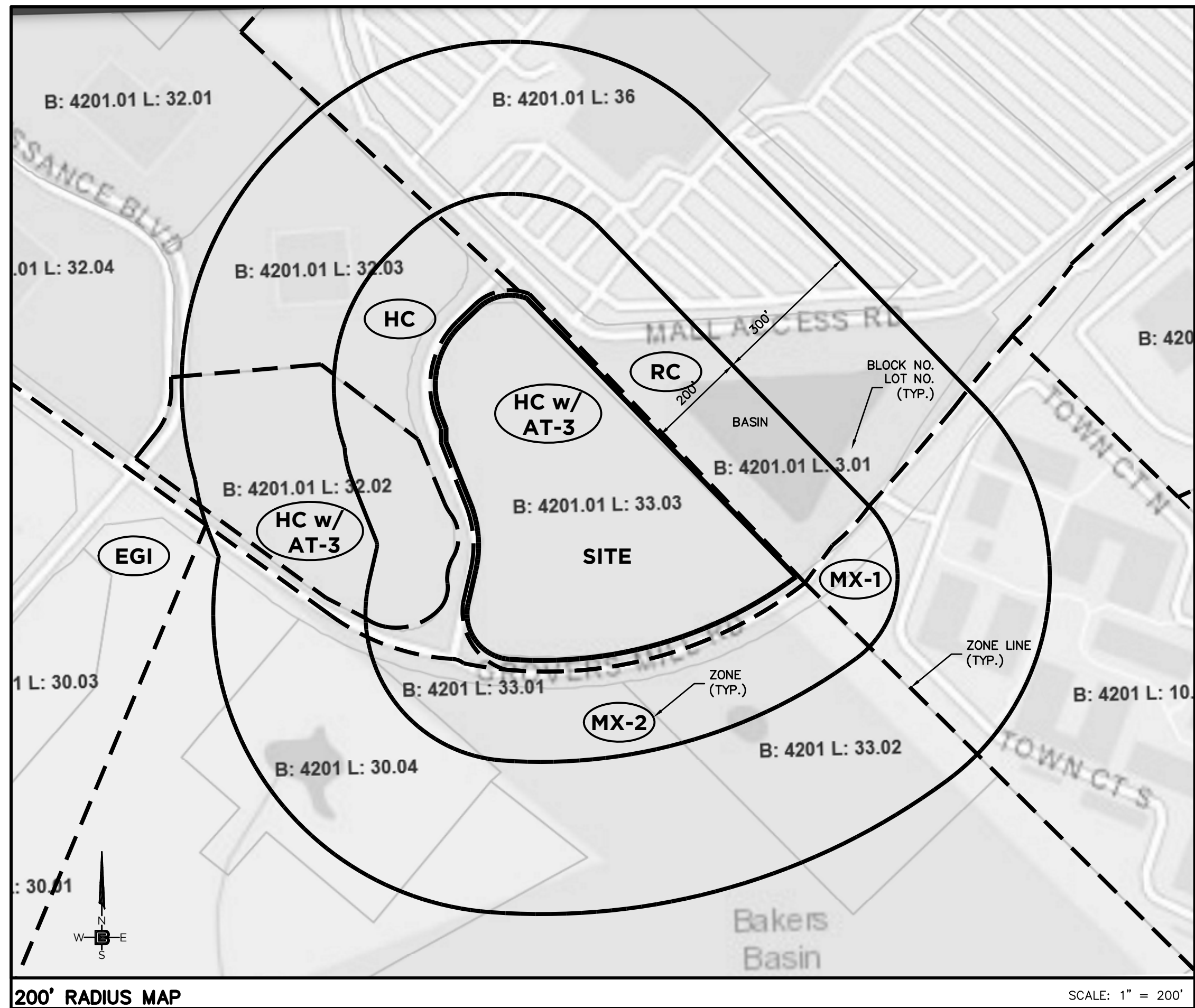
PROPERTY OWNERS WITHIN 200'

TOWNSHIP OF LAWRENCE (Per Construction Official dated 8-3-2023)

BLOCK	LOT	PROPERTY OWNER	PROPERTY LOCATION
4201	10.03	TOWN COURT OWNER TIC LLC 5850 W 3RD ST #109 LOS ANGELES, CA 90036	5850 W 3RD ST #109
30.04	33.02	DEPT OF TRANSPORTATION 1035 PARKWAY AVE TRENTON, NJ 08625	1035 PARKWAY AVE
33.01	33.02	DEPT OF ENVIRONMENTAL PROTECTION JOHN FITCH PLAZA TRENTON, NJ 08625	JOHN FITCH PLAZA
33.01	(T01)	SPRINT SPECTRUM PROP TAX DEPT PO BX 8430 (PL03XC109) KANSAS CITY, MO 64114-8430	PO BX 8430 (PL03XC109)
33.01	(T03)	VERIZON WIRELESS C/O DUFF & PHELPS PO BOX 2549 ADDISON, TX 75001	PO BOX 2549
4201.01	3.01	QUAKER BRIDGE MALL, LLC 225 WEST WASHINGTON ST INDIANAPOLIS, IN 46204	225 WEST WASHINGTON ST
32.02		FANFEC, LLC 100 RENAISSANCE BLVD LAWRENCEVILLE, NJ 08648	100 RENAISSANCE BLVD
32.03		AUTO CAMPUS REALTY LLC 100 RENAISSANCE BLVD LAWRENCEVILLE, NJ 08648	100 RENAISSANCE BLVD
36		TF LWROVL NJ/DEPT 36134,BC-151A 3333 BEVERLY ROAD HOFFMAN ESTATES, IL 60179	3333 BEVERLY ROAD

MUNICIPALITIES & UTILITIES

CORPORATE SECRETARY EWING-LAWRENCE SEWERAGE AUTHORITY 600 WHITEHEAD ROAD LAWRENCEVILLE, NJ 08648	CORPORATE SECRETARY PUBLIC SERVICE ELECTRIC & GAS COMPANY 80 PARK PLAZA, 4B NEWARK NJ 07101
N.J. AMERICAN WATER 1025 LAUREL OAK ROAD VOORHEES NJ 08043 ATTN: DONNA SHORT	ELIZABETHTOWN GAS COMPANY ONE ELIZABETHTOWN PLAZA THIRD FLOOR EAST UNION NJ 07083-1975
CORPORATE SECRETARY TRENTON WATER WORKS P.O. BOX 528 TRENTON NJ 08604	CORPORATE SECRETARY VERIZON 540 BROAD STREET NEWARK NJ 07101
AQUA WATER COMPANY 2875 ERIAL ROAD ERIAL NJ 08081 ATTN: JAMES BARBATO	GENERAL MANAGER COMCAST CABLEVISION 940 PROSPECT STREET TRENTON NJ 08618
RCN CORPORATION 105 CARNEGIE CENTER PRINCETON NJ 08540	CORPORATE SECRETARY AT&T 1 AT&T WAY BEDMINSTER NJ 07921
MERCER COUNTY PLANNING BOARD 640 SOUTH BROAD STREET P.O. BOX 8068 TRENTON NJ 08650-8068	CORPORATE SECRETARY JERSEY CENTRAL POWER AND LIGHT 300 MADISON AVENUE MORRISTOWN NJ 07962
SUN PIPE LINE COMPANY ATTN: R-O-W DEPARTMENT 1801 MARKET STREET 26TH FLOOR PHILADELPHIA PA 19103-1699	CORPORATE SECRETARY TRANSCONTINENTAL GAS PIPE LINE CORPORATION 2800 POST OAK BOULEVARD HOUSTON TX 77056
SUNOCO PIPE LINE, L.P. RIGHT-OF-WAY DEPARTMENT MONTELLO COMPLEX 525 FRITZTOWN ROAD SINKING SPRING PA 19608	COMMISSIONER N.J. DEPARTMENT OF TRANSPORTATION 1035 PARKWAY AVENUE, CN 600 TRENTON NJ 08625



DRAWING LIST			
DWG. #	DRAWING TITLE	DATED/ LAST REVISED	REV. #
C1.1	COVER SHEET	4-16-25	4
C2.1	SITE PLAN	4-16-25	4
C2.2	SOIL EROSION & SEDIMENT CONTROL PLAN	4-16-25	3
C2.3	GRADING & DRAINAGE PLAN	4-16-25	5
C2.4	UTILITY PLAN	4-16-25	4
C2.5	LIGHTING & LANDSCAPING PLAN	4-16-25	4
C2.6	LIGHTING INTENSITIES PLAN	4-16-25	4
C2.7	PARKING PLAN	4-16-25	4
C2.8	GRADING & LANDSCAPE PLAN	4-16-25	3
C2.9	WETLANDS PERMITTING PLAN	4-16-25	4
C2.10	TREE REMOVAL PLAN	4-16-25	1
C3.1	SITE DETAILS	4-16-25	3
C3.2	DRAINAGE DETAILS	4-16-25	3
C3.3	UTILITY DETAILS	4-16-25	2
C3.4	LANDSCAPING DETAILS	4-16-25	2
C3.5	LIGHTING DETAILS	4-16-25	2
C4.1	ROAD PROFILES	4-16-25	2
SV-1	LOCATION & TOPOGRAPHICAL SURVEY	6-16-22	2

UNIT MIX

6 3-BR TOWNHOUSE
25 4-BR TOWNHOUSE
3 3-BR APARTMENT
36 2-BR APARTMENT
15 1-BR APARTMENT
65 TOTAL

REQUIRED APPROVALS

- LAWRENCE TOWNSHIP PLANNING BOARD
- MERCER COUNTY PLANNING BOARD
- MERCER COUNTY SOIL CONSERVATION
- NJDEP TREATMENT WORKS
- NJDEP BUFFER AVERAGING

REQUIRED VARIANCES

MIN. GROSS TRACT AREA
MIN. BUILDABLE AREA
MIN. BUILDING SETBACK
MAX. UNITS PER APARTMENT BUILDING
MIN. BUILDING TO COMMON PARKING

DESIGN EXCEPTIONS

- 492G4 - MAX. FENCE/WALL HEIGHT
(4' REQUIRED - 13' PROPOSED)
- 525H1d - MIN. BUFFER RESIDENTIAL TO RETAIL
(25' REQUIRED - 0' PROPOSED)

SOLID WASTE MANAGEMENT

- TOWNHOMES TO STORE TRASH AND RECYCLING WITHIN UNITS TO BE PLACED ON CURB SIDE FOR PICKUP.
- APARTMENT BUILDINGS HAVE TRASH SHOOTS AND COMPACTORS. TRASH TO BE STORED IN TRASH ROOM FOR PRIVATE COLLECTION. RECYCLING TO BE STORED IN TRASH ROOM AND PLACED AT CURB FOR PICKUP.

ZONING NOTES

- OWNER/APPLICANT: TRICONE
2525 US-130 SUITE B4
CRANBURY, NJ 08512
- LOCATION:
GROVERS MILL ROAD & MALL ACCESS ROAD
BLOCK 4201.01, LOT 33.03
TOWNSHIP OF LAWRENCE, NJ
- ZONE: AT-3 APARTMENT & TOWNHOUSE RESIDENTIAL
- USE:
EXISTING: UNDEVELOPED
PROPOSED: TOWNHOUSE/APARTMENT (PERMITTED) 100 UNITS PROPOSED
- BULK REQUIREMENTS: (§ 409, ORD. 2283-17)

	REQUIRED	PROPOSED
MIN. GROSS TRACT AREA (AC)	10	6.86(E)
MIN. BUILDABLE AREA (AC)	7	4.80(V)
LOT WIDTH (FT)	N/A	750
LOT DEPTH (FT)	N/A	375
MAX. UNITS PER ACRE	15	14.58
MIN. OPEN SPACE(%)	30	57
MIN. FRONTAGE (FT)	300	1,486
MIN. BUILDING SETBACK(FT)	50	25(V)
MAX. UNITS PER TOWNHOUSE BUILDING	8	8
MAX. UNITS PER APARTMENT BUILDING	24	31/39(V)
MAX. UNITS PER MIXED BUILDING	12	N/A
MIN. DISTANCE BETWEEN BUILDINGS*	50	50
FRONT/BACK(FT)	30	25.7(V)
SIDE(FT)	15	9(V)
BUILDING TO COMMON PARKING(FT)	3/38	4/42(V)
MAX. BUILDING HEIGHT(STY/FT)	240	223.1
MAX. BUILDING LENGTH(FT)	200	COMPLY
MIN. PRIVATE REAR YARD PER GROUND FLOOR UNIT(SF)**	50	COMPLY
MIN. PRIVATE BALCONY PER ABOVE GROUND UNIT(SF)**	20	COMPLY
MIN. TOWNHOUSE WIDTH(FT)	20	24
MIN. APARTMENT SIZE(SF)	550	770
MIN. STORAGE AREA PER UNIT	300	300
TOWNHOUSE(SF)	100	75
APARTMENT(SF)**	5	116.5
MIN. ACCESSORY STRUCTURE SETBACK(FT)	80	N/A
MAX. UNIT TYPE IN MIXED DEVELOPMENT(%)	N/A/20	20
MIN. AFFORDABLE HOUSING UNITS(TOTAL/%)		

6. OFFSTREET PARKING (N.J.A.C.5:21-TABLE 4.4)

	REQUIRED	PROPOSED
PROPOSED APARTMENT BUILDING A:		
1 BEDROOM - 1.8 SP/UNIT (11 - 1 BEDROOM x 1.8) = 19.8 SPACES	19.8	
2 BEDROOM - 2.0 SP/UNIT (18 - 2 BEDROOM x 2.0) = 38.0 SPACES	38	23 INTERIOR
3 BEDROOM - 2.1 SP/UNIT (1 - 3 BEDROOM x 2.1) = 2.1 SPACES	2.1	22 EXTERIOR
TOTAL REQUIRED SPACES BUILDING "A" =	59.9	45

PROPOSED APARTMENT BUILDING F:

1 BEDROOM - 1.8 SP/UNIT (7 - 1 BEDROOM x 1.8) = 12.6 SPACES	12.6	
2 BEDROOM - 2.0 SP/UNIT (27 - 2 BEDROOM x 2.0) = 54.0 SPACES	54.0	33 INTERIOR
3 BEDROOM - 2.1 SP/UNIT (5 - 3 BEDROOM x 2.1) = 10.5 SPACES	10.5	44 EXTERIOR
TOTAL REQUIRED SPACES BUILDING "F" =	77.1	77

PROPOSED APARTMENT BUILDING D:

3 BEDROOM - 2.1 SP/UNIT (14 - 3 BEDROOM x 2.1) = 29.4 SPACES	29.4	28
TOTAL APARTMENT SPACES (59.9 + 77.1 + 29.4) =	166.4	150

PROPOSED TOWNHOUSE:

BUILDING B & C: 2 GARAGE SPACES + 1 DRIVEWAY SPACE = 3 PER TOWNHOUSE

16 3-BR TOWNHOUSE x 2.4 =	38.4	48
TOTAL REQUIRED SPACES (166.4 + 38.4) =	204.8	198 TOTAL SPACES

MIN. PARKING/DRIVEWAY SETBACK(FT)	25	25
MIN. PARKING SPACE SIZE(FT)	9x18	9x18
MIN. 90° PARKING AISLE WIDTH (FT)	24	24
MIN. HANDICAP SPACES (101 TO 150):	5	5

REQUIRED ELECTRIC VEHICLE SUPPLY EQUIPMENT SPACES (EVSE):

RESIDENTIAL/APARTMENTS	REQUIRED	PROVIDED
MIN. (EVSE)(15% OF REQUIRED): (137 SP x .15) = 20.55	21	21
MIN. HANDICAP (EVSE)(5% OF REQUIRED): (20.55 SP x .05) = 1.03	2	3
TOTAL EVSE SPACES =	23	24

TOTAL REQUIRED SPACES =	205
EVSE BONUS/CREDIT**** =	13
TOTAL ADJUSTED SPACES =	192 REQUIRED SPACES

- * THE PLANNING OR ZONING BOARD, AFTER DUE CONSIDERATION OF PLANS, TESTIMONY, OF OTHER EVIDENCE, MAY WAIVE STRICT COMPLIANCE WITH THIS SUBSECTION TO FURTHER THE ARCHITECTURAL RELATIONSHIP OF BUILDING GROUPS.
- ** OR AN ACTIVE AND/OR PASSIVE RECREATION AREA EQUAL TO 200SF PER UNIT AVAILABLE TO ALL TENANTS OR OWNERS.
- *** MAY BE REDUCED TO NO MORE THAN 75 SF IF EACH BUILDING HAS AN INTERNAL GARBAGE AND RECYCLABLE COLLECTION AREA OR READILY ACCESSIBLE EXTERIOR GARBAGE AND TRASH COLLECTION POINT.

- **** (2 TO 1 UP TO 10% OF TOTAL REQUIRED PARKING
- TBD - TO BE DETERMINED
(V) - INDICATES A VARIANCE IS REQUIRED
NC - NO CHANGE
N/A - NOT APPLICABLE

APPROVED BY THE LAWRENCE TOWNSHIP
PLANNING BOARD OF ADJUSTMENT AT A
MEETING HELD ON _____ 2023

CHAIRPERSON	DATE
SECRETARY	DATE
ADMINISTRATIVE OFFICER	DATE
ENGINEER	DATE

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MA LIC. NO. 40595 NY LIC. NO. 60022
NH LIC. NO. 9368 RI LIC. NO. 6694

ERIC M. HOUGH, P.E.
PROFESSIONAL ENGINEER

NJ LIC. NO. 51893

NO.	DATE	REVISION
1	4-16-25	REVISED ZONING NOTES
2	4-16-25	REVISED DRAWING LIST
3	4-16-25	REVISED DRAWING LIST
4	4-16-25	REVISED DRAWING LIST

DRAWING TITLE
COVER SHEET

PROJECT

RESIDENTIAL DEVELOPMENT

BLOCK 4201.01, LOT 33.03
GROVERS MILL ROAD & MALL ACCESS ROAD
TOWNSHIP OF LAWRENCE
MERCER COUNTY, NEW JERSEY

CLIENT

TRICONE
2525 US-130 SUITE B4
CRANBURY, NJ 08512

CERTIFICATE OF AUTHORIZATION
24GA28068900 / ZMH00002800

DRAWN BY: V.L. CHECKED BY: C.J.B.

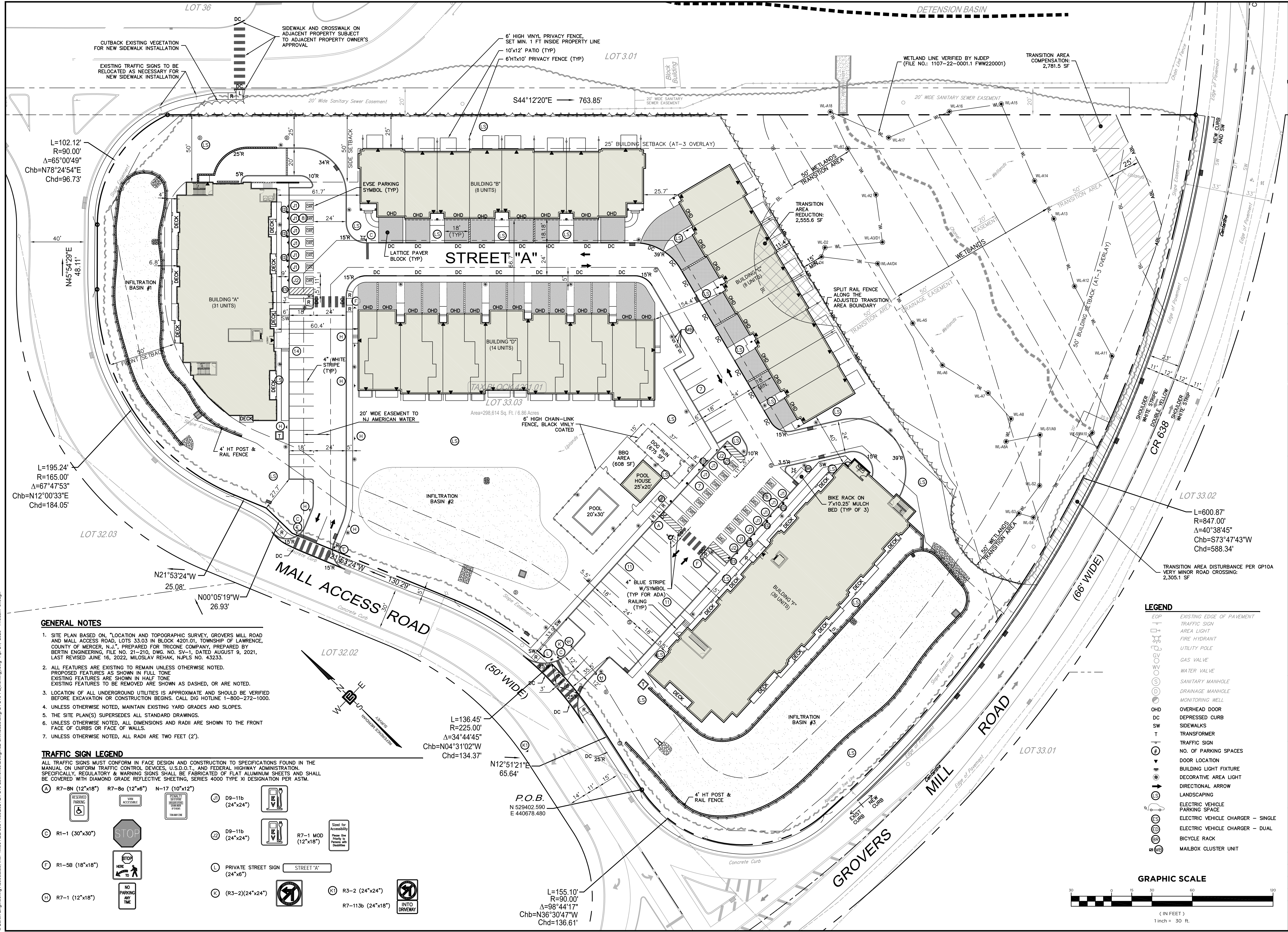
SCALE: AS SHOWN PROJECT NO.: 21-210

DATE: 10-12-23 REVISION NO.: 4

DRAWING NO.

C1.1

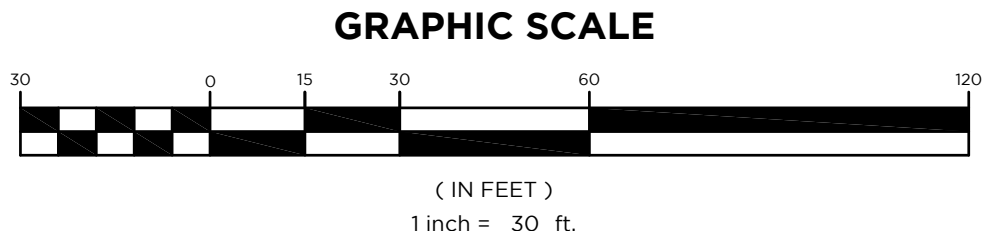
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- GENERAL NOTES**
- SITE PLAN BASED ON "LOCATION AND TOPOGRAPHIC SURVEY, GROVERS MILL ROAD AND MALL ACCESS ROAD, LOTS 33.03 IN BLOCK 4201.01, TOWNSHIP OF LAWRENCE, COUNTY OF MERCER, N.J.", PREPARED FOR TRICONE COMPANY, PREPARED BY BERTIN ENGINEERING, FILE NO. 21-210, DWG. NO. SV-1, DATED AUGUST 9, 2021, LAST REVISED JUNE 16, 2022, MILOSLAV REHAK, NPLS NO. 43233.
 - ALL FEATURES ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED. PROPOSED FEATURES AS SHOWN IN FULL TONE. EXISTING FEATURES ARE SHOWN IN HALF TONE. EXISTING FEATURES TO BE REMOVED ARE SHOWN AS DASHED, OR ARE NOTED.
 - LOCATION OF ALL UNDERGROUND UTILITIES IS APPROXIMATE AND SHOULD BE VERIFIED BEFORE EXCAVATION OR CONSTRUCTION BEGINS. CALL DIG HOTLINE 1-800-272-1000.
 - UNLESS OTHERWISE NOTED, MAINTAIN EXISTING YARD GRADES AND SLOPES.
 - THE SITE PLAN(S) SUPERSEDES ALL STANDARD DRAWINGS.
 - UNLESS OTHERWISE NOTED, ALL DIMENSIONS AND RADII ARE SHOWN TO THE FRONT FACE OF CURBS OR FACE OF WALLS.
 - UNLESS OTHERWISE NOTED, ALL RADII ARE TWO FEET (2').

- TRAFFIC SIGN LEGEND**
- ALL TRAFFIC SIGNS MUST CONFORM IN FACE DESIGN AND CONSTRUCTION TO SPECIFICATIONS FOUND IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, U.S.D.O.T., AND FEDERAL HIGHWAY ADMINISTRATION. SPECIFICALLY, REGULATORY & WARNING SIGNS SHALL BE FABRICATED OF FLAT ALUMINUM SHEETS AND SHALL BE COVERED WITH DIAMOND GRADE REFLECTIVE SHEETING, SERIES 4000 TYPE X DESIGNATION PER ASTM.
- A R7-8N (12"x18") R7-8a (12"x6") N-17 (10"x12")
 - C R1-1 (30"x30")
 - F R1-5B (18"x18")
 - H R7-1 (12"x18")
 - J D9-11b (24"x24")
 - K (R3-2) (24"x24")
 - L PRIVATE STREET SIGN (24"x6")
 - M R7-113b (24"x18")
 - N R7-1 MOD (12"x18")
 - O R3-2 (24"x24")
 - P R7-113b (24"x18")
 - Q R7-113b (24"x18")
 - R R7-113b (24"x18")
 - S R7-113b (24"x18")
 - T R7-113b (24"x18")
 - U R7-113b (24"x18")
 - V R7-113b (24"x18")
 - W R7-113b (24"x18")
 - X R7-113b (24"x18")
 - Y R7-113b (24"x18")
 - Z R7-113b (24"x18")

- LEGEND**
- EOP EXISTING EDGE OF PAVEMENT
 - TRAFFIC SIGN
 - AREA LIGHT
 - FIRE HYDRANT
 - UTILITY POLE
 - GAS VALVE
 - WATER VALVE
 - SANITARY MANHOLE
 - DRAINAGE MANHOLE
 - MONITORING WELL
 - OVERHEAD DOOR
 - DEPRESSED CURB
 - SIDEWALKS
 - TRANSFORMER
 - TRAFFIC SIGN
 - NO. OF PARKING SPACES
 - DOOR LOCATION
 - BUILDING LIGHT FIXTURE
 - DECORATIVE AREA LIGHT
 - DIRECTIONAL ARROW
 - LANDSCAPING
 - ELECTRIC VEHICLE PARKING SPACE
 - ELECTRIC VEHICLE CHARGER - SINGLE
 - ELECTRIC VEHICLE CHARGER - DUAL
 - BICYCLE RACK
 - MAILBOX CLUSTER UNIT



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NJ LIC. NO. 51893

NO.	DATE	REVISION
1	10-12-23	4
2	10-12-23	4
3	10-12-23	4
4	10-12-23	4

DRAWING TITLE
SITE PLAN

PROJECT
RESIDENTIAL DEVELOPMENT
BLOCK 4201.01, LOT 33.03
GROVERS MILL ROAD & MALL ACCESS ROAD
TOWNSHIP OF LAWRENCE
MERCER COUNTY, NEW JERSEY

CLIENT
TRICONE
2525 US-130 SUITE B4
CRANBURY, NJ 08512

CERTIFICATE OF AUTHORIZATION
24GA28068900 / 21MH00002800

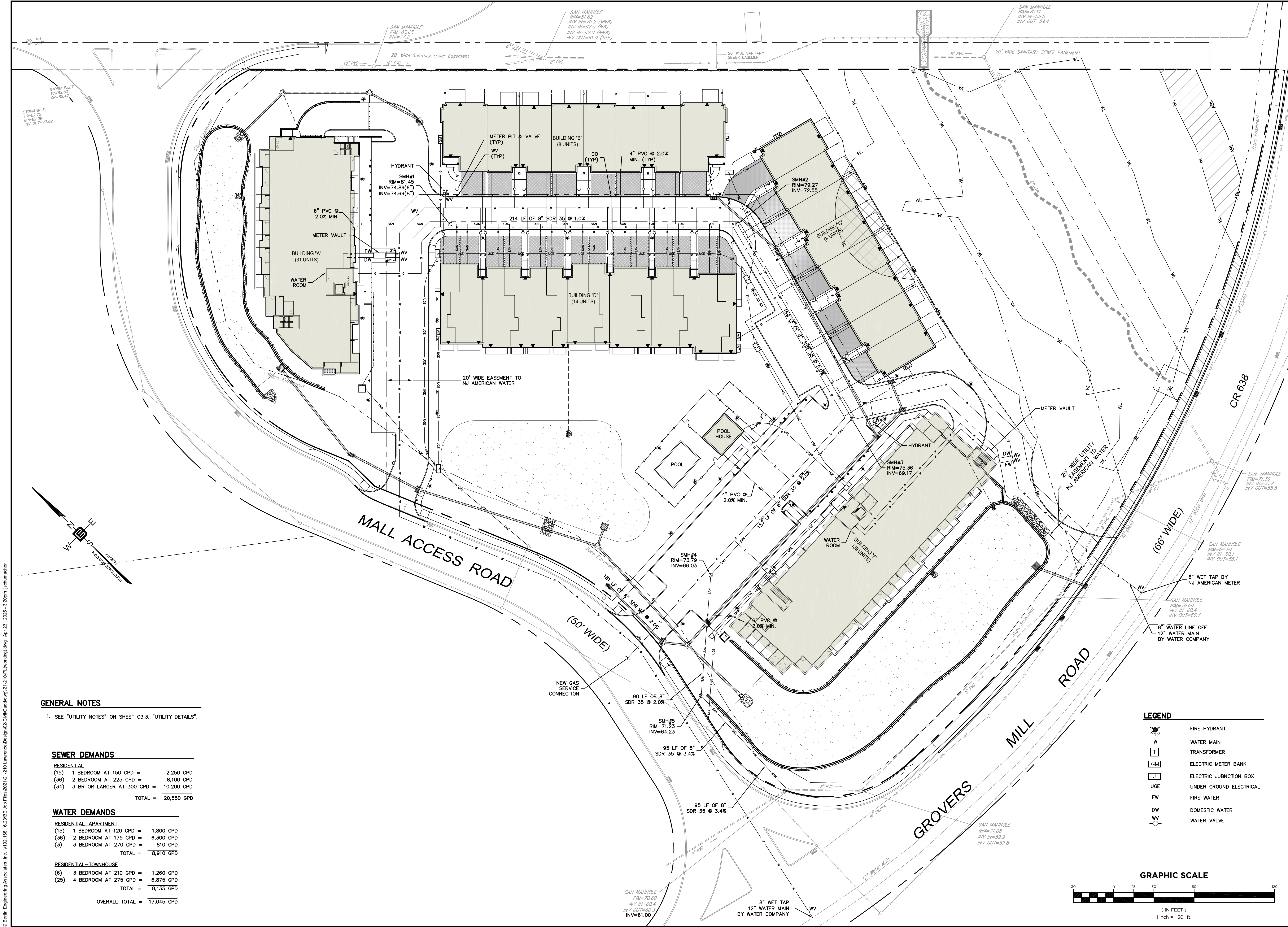
DRAWN BY
VL
CHECKED BY
C.J.B.

SCALE
1" = 30'
PROJECT NO.
21-210

DATE
10-12-23
REVISION NO.
4

DRAWING NO.
C2.1

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GENERAL NOTES

1. SEE "UTILITY NOTES" ON SHEET C3.3. "UTILITY DETAILS".

SEWER DEMANDS

RESIDENTIAL

(15)	1 BEDROOM AT 150 GPD =	2,250 GPD
(36)	2 BEDROOM AT 225 GPD =	8,100 GPD
(34)	3 BR OR LARGER AT 300 GPD =	10,200 GPD
TOTAL =		20,550 GPD

WATER DEMANDS

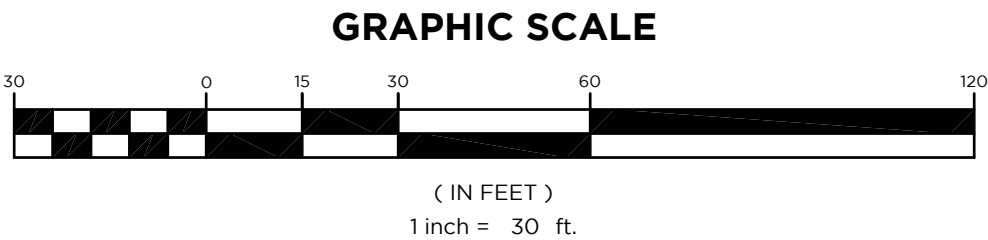
RESIDENTIAL-APARTMENT

(15)	1 BEDROOM AT 120 GPD =	1,800 GPD
(36)	2 BEDROOM AT 175 GPD =	6,300 GPD
(3)	3 BEDROOM AT 270 GPD =	810 GPD
TOTAL =		8,910 GPD

RESIDENTIAL-TOWNHOUSE

(6)	3 BEDROOM AT 210 GPD =	1,260 GPD
(25)	4 BEDROOM AT 275 GPD =	6,875 GPD
TOTAL =		8,135 GPD
OVERALL TOTAL =		17,045 GPD

LEGEND	
	FIRE HYDRANT
	WATER MAIN
	TRANSFORMER
	ELECTRIC METER BANK
	ELECTRIC JUNCTION BOX
	UNDER GROUND ELECTRICAL
	FIRE WATER
	DOMESTIC WATER
	WATER VALVE



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NO.	DATE	REVISION
4	4-18-25	REVISED PER SITE PLAN
3	7-18-24	REVISED PER SITE PLAN
2	8-13-24	REVISED WATER & SEWER
1	3-19-24	ADDED WATER MAIN & GENERAL NOTES; RELOCATED WATER SERVICE LINE

DRAWING TITLE
UTILITY PLAN

PROJECT
RESIDENTIAL DEVELOPMENT
BLOCK 4201.01, LOT 33.03
GROVERS MILL ROAD & MALL ACCESS ROAD
TOWNSHIP OF LAWRENCE
MERCER COUNTY, NEW JERSEY

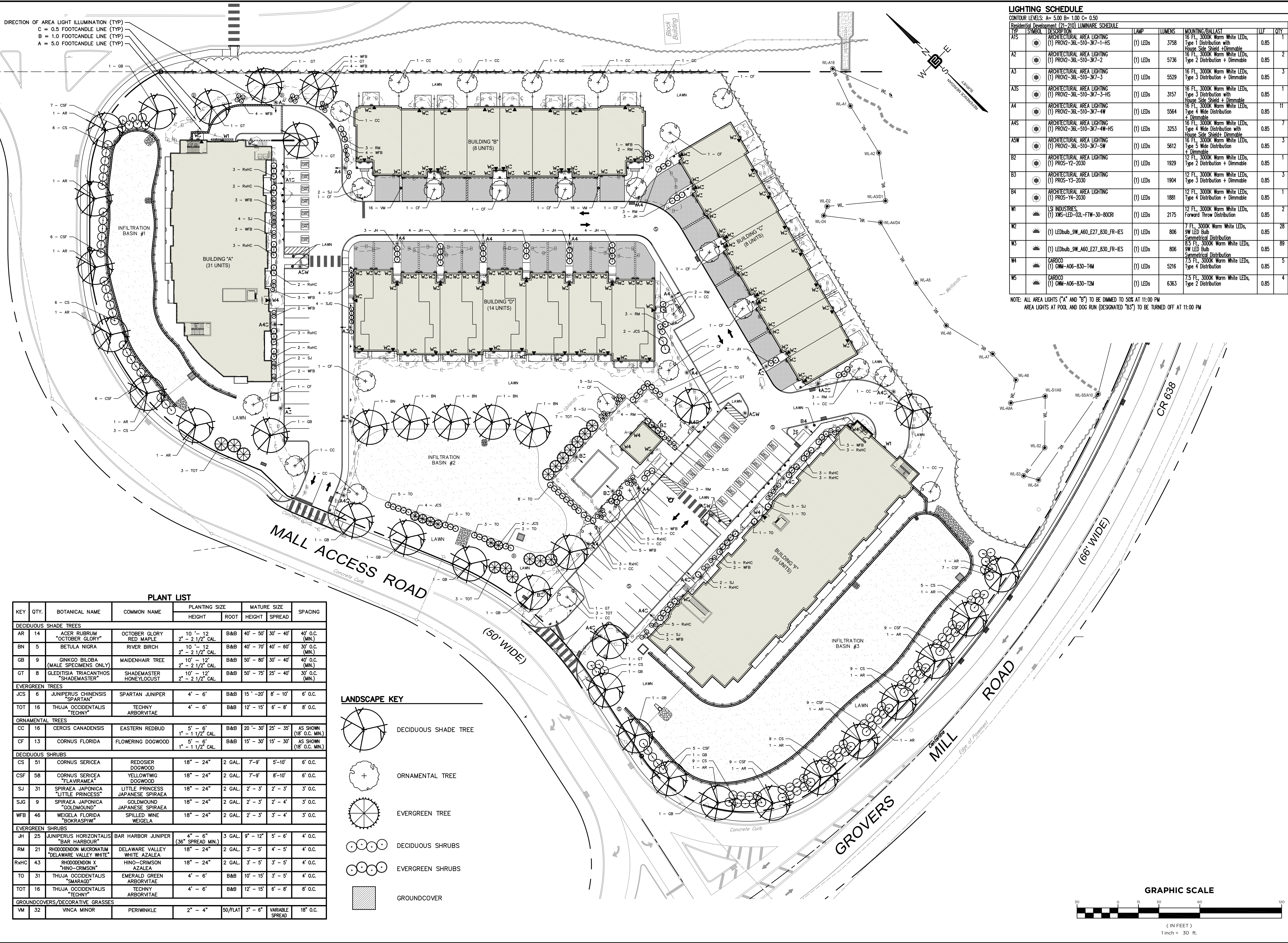
CLIENT
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2525 US-130 SUITE B4
CRANBURY, NJ 08512

CERTIFICATE OF AUTHORIZATION
24GA28068900 / 21MH00002800

DRAWN BY C.B. JR	CHECKED BY C.J.B
SCALE 1" = 30'	PROJECT NO. 21-210
DATE 10-12-23	REVISION NO. 4

DRAWING NO.
C2.4

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LIGHTING SCHEDULE									
CONTOUR LEVELS: A= 5.00 B= 1.00 C= 0.50									
Residential Development (21-210) LUMINAIRE SCHEDULE									
TYPE	SYMBOL	DESCRIPTION	LAMP	LUMENS	MOUNTING/BALLAST	ULF	QTY		
A1S	●	ARCHITECTURAL AREA LIGHTING (1) PROV2-36L-510-3K7-1-HS	(1) LEDs	3758	16 FT. 3000K Warm White LEDs, Type 1 Distribution with House Side Shield + Dimmable	0.85	1		
A2	●	ARCHITECTURAL AREA LIGHTING (1) PROV2-36L-510-3K7-2	(1) LEDs	5736	16 FT. 3000K Warm White LEDs, Type 2 Distribution + Dimmable	0.85	2		
A3	●	ARCHITECTURAL AREA LIGHTING (1) PROV2-36L-510-3K7-3	(1) LEDs	5529	16 FT. 3000K Warm White LEDs, Type 3 Distribution + Dimmable	0.85	3		
A3S	●	ARCHITECTURAL AREA LIGHTING (1) PROV2-36L-510-3K7-3-HS	(1) LEDs	3157	16 FT. 3000K Warm White LEDs, Type 3 Distribution with House Side Shield + Dimmable	0.85	1		
A4	●	ARCHITECTURAL AREA LIGHTING (1) PROV2-36L-510-3K7-4W	(1) LEDs	5564	16 FT. 3000K Warm White LEDs, Type 4 Wide Distribution + Dimmable	0.85	11		
A4S	●	ARCHITECTURAL AREA LIGHTING (1) PROV2-36L-510-3K7-4W-HS	(1) LEDs	3253	16 FT. 3000K Warm White LEDs, Type 4 Wide Distribution with House Side Shield + Dimmable	0.85	7		
A5W	●	ARCHITECTURAL AREA LIGHTING (1) PROV2-36L-510-3K7-5W	(1) LEDs	5612	16 FT. 3000K Warm White LEDs, Type 5 Wide Distribution + Dimmable	0.85	3		
B2	●	ARCHITECTURAL AREA LIGHTING (1) PROS-Y2-2030	(1) LEDs	1929	12 FT. 3000K Warm White LEDs, Type 2 Distribution + Dimmable	0.85	1		
B3	●	ARCHITECTURAL AREA LIGHTING (1) PROS-13-2030	(1) LEDs	1904	12 FT. 3000K Warm White LEDs, Type 3 Distribution + Dimmable	0.85	3		
B4	●	ARCHITECTURAL AREA LIGHTING (1) PROS-Y4-2030	(1) LEDs	1881	12 FT. 3000K Warm White LEDs, Type 4 Distribution + Dimmable	0.85	1		
W1	☀	LSI INDUSTRIES (1) XWS-LED-02L-F1TW-30-8000R	(1) LEDs	2175	12 FT. 3000K Warm White LEDs, Forward Throw Distribution	0.85	2		
W2	☀	(1) LEDbulb_9W_A60_E27_830_FR-ES	(1) LEDs	806	7 FT. 3000K Warm White LEDs, 9W LED Bulb Symmetrical Distribution	0.85	28		
W3	☀	(1) LEDbulb_9W_A60_E27_830_FR-ES	(1) LEDs	806	8.5 FT. 3000K Warm White LEDs, 9W LED Bulb Symmetrical Distribution	0.85	89		
W4	☀	GARCO (1) PWM-A06-830-14M	(1) LEDs	5216	7.5 FT. 3000K Warm White LEDs, Type 4 Distribution	0.85	5		
W5	☀	GARCO (1) PWM-A06-830-12M	(1) LEDs	6363	7.5 FT. 3000K Warm White LEDs, Type 2 Distribution	0.85	4		

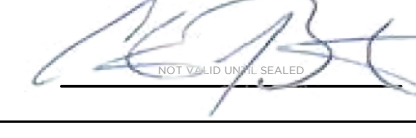
NOTE: ALL AREA LIGHTS ("A" AND "B") TO BE DIMMED TO 50% AT 11:00 PM
AREA LIGHTS AT POOL AND DOG RUN (DESIGNATED "B3") TO BE TURNED OFF AT 11:00 PM

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CT LIC. NO. 12950 NJ LIC. NO. 28845
MA LIC. NO. 40595 NY LIC. NO. 60022
NH LIC. NO. 9368 RI LIC. NO. 6694


ERIC M. HOUGH, P.E.
PROFESSIONAL ENGINEER
NJ LIC. NO. 51893

NO.	DATE	REVISION
1	3-19-24	REVISED AS PER SITE PLAN
2	6-13-24	REVISED LANDSCAPING & LIGHTING PER REVISED SITE LAYOUT
3	7-18-24	REVISED PER SITE PLAN
4	4-18-25	REVISED LANDSCAPING & LIGHTING AS PER SITE PLAN

DRAWING TITLE

LIGHTING & LANDSCAPE PLAN

PROJECT

RESIDENTIAL DEVELOPMENT
BLOCK 420101, LOT 33.03
GROVERS MILL ROAD & MALL ACCESS ROAD
TOWNSHIP OF LAWRENCE
MERCER COUNTY, NEW JERSEY

CLIENT

TRICONE
2525 US-130 SUITE B4
CRANBURY, NJ 08512

CERTIFICATE OF AUTHORIZATION
24GA28068900 / 21M400002800

DRAWN BY: VL

CHECKED BY: C.J.B.

SCALE: 1" = 30'

PROJECT NO.: 21-210

DATE: 10-12-23

REVISION NO.: 4

DRAWING NO.

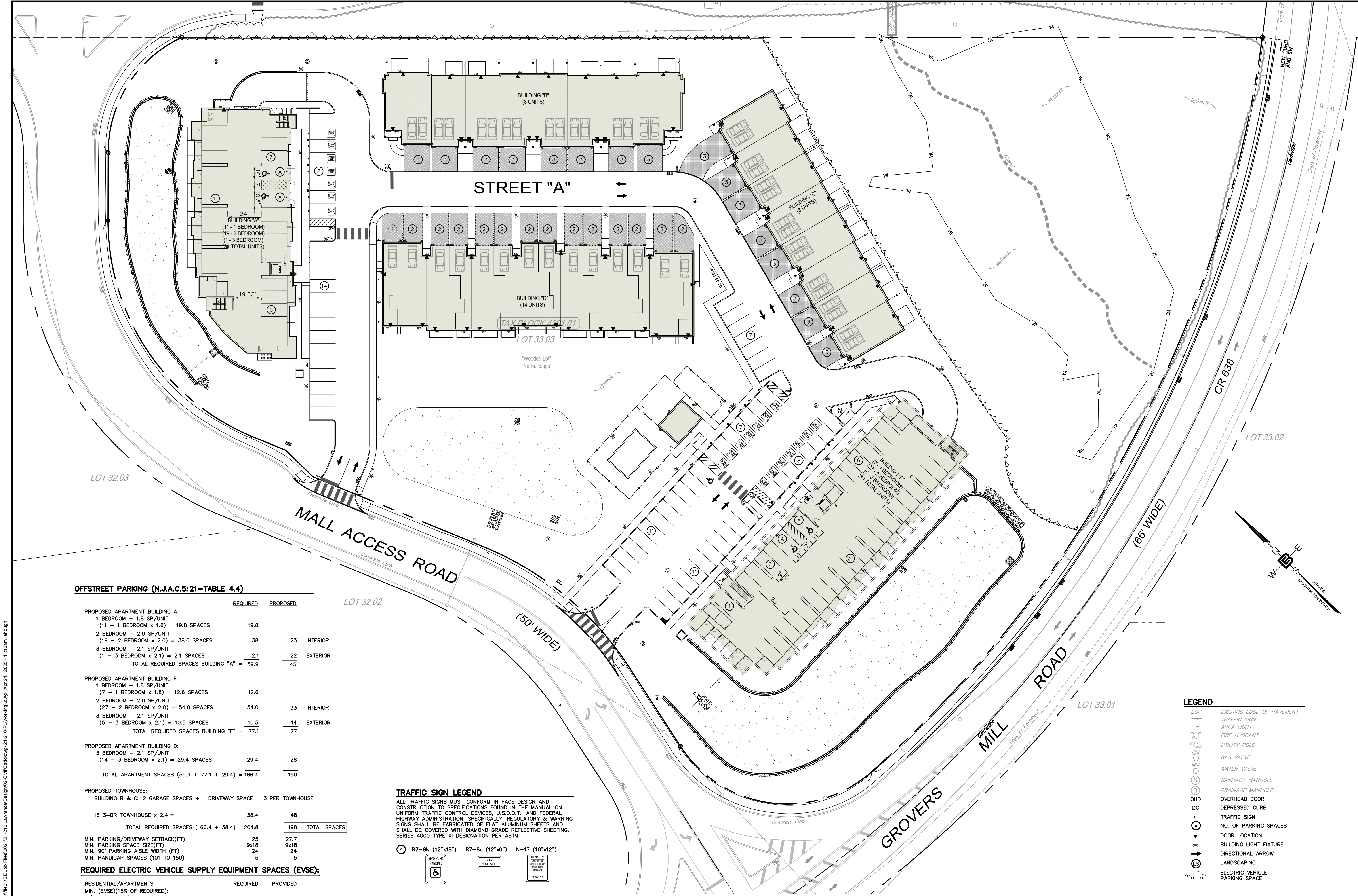
C2.5



(IN FEET)
1 inch = 30 ft

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C2.6



OFFSTREET PARKING (N.J.A.C.5:21-TABLE 4.4)

	REQUIRED	PROPOSED
PROPOSED APARTMENT BUILDING A:		
1 BEDROOM - 1.8 SP/UNIT		
(11 - 1 BEDROOM x 1.8) = 19.8 SPACES	19.8	
2 BEDROOM - 2.0 SP/UNIT		
(19 - 2 BEDROOM x 2.0) = 38.0 SPACES	38	23 INTERIOR
3 BEDROOM - 2.1 SP/UNIT		
(1 - 3 BEDROOM x 2.1) = 2.1 SPACES	2.1	22 EXTERIOR
TOTAL REQUIRED SPACES BUILDING "A" =	59.9	45
PROPOSED APARTMENT BUILDING F:		
1 BEDROOM - 1.8 SP/UNIT		
(7 - 1 BEDROOM x 1.8) = 12.6 SPACES	12.6	
2 BEDROOM - 2.0 SP/UNIT		
(27 - 2 BEDROOM x 2.0) = 54.0 SPACES	54.0	33 INTERIOR
3 BEDROOM - 2.1 SP/UNIT		
(5 - 3 BEDROOM x 2.1) = 10.5 SPACES	10.5	44 EXTERIOR
TOTAL REQUIRED SPACES BUILDING "F" =	77.1	77
PROPOSED APARTMENT BUILDING D:		
3 BEDROOM - 2.1 SP/UNIT		
(14 - 3 BEDROOM x 2.1) = 29.4 SPACES	29.4	28
TOTAL APARTMENT SPACES (59.9 + 77.1 + 29.4) =	166.4	150
PROPOSED TOWNHOUSE:		
BUILDING B & C; 2 GARAGE SPACES + 1 DRIVEWAY SPACE = 3 PER TOWNHOUSE		
16 3-BR TOWNHOUSE x 2.4 =	38.4	48
TOTAL REQUIRED SPACES (166.4 + 38.4) =	204.8	198 TOTAL SPACES
MIN. PARKING/DRIVEWAY SETBACK(FT)	25	27.7
MIN. PARKING SPACE SIZE(FT)	9x18	9x18
MIN. 90° PARKING AISLE WIDTH (FT)	24	24
MIN. HANDICAP SPACES (101 TO 150):	5	5

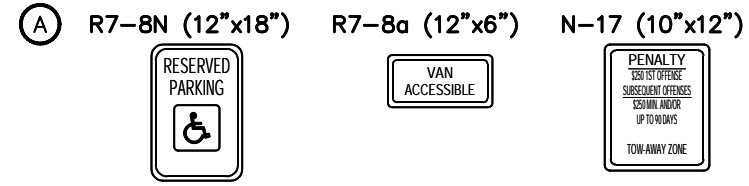
REQUIRED ELECTRIC VEHICLE SUPPLY EQUIPMENT SPACES (EVSE):

RESIDENTIAL/APARTMENTS	REQUIRED	PROVIDED
MIN. (EVSE)(15% OF REQUIRED):		
(137 SP x .15) = 20.55	21	21
MIN. HANDICAP (EVSE)(5% OF REQUIRED):		
(20.55 SP x .05) = 1.03	2	3
TOTAL EVSE SPACES =	21	

TOTAL REQUIRED SPACES =	205
EVSE BONUS/CREDIT**** =	13
TOTAL ADJUSTED SPACES =	192 REQUIRED SPACES

TRAFFIC SIGN LEGEND

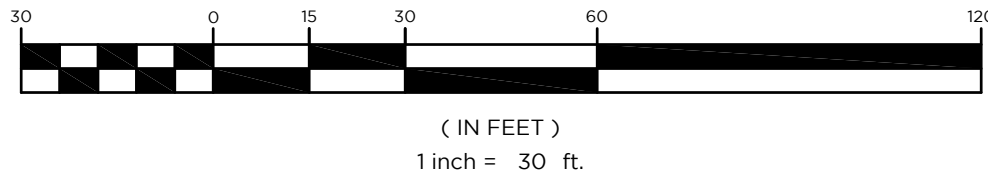
ALL TRAFFIC SIGNS MUST CONFORM IN FACE DESIGN AND CONSTRUCTION TO SPECIFICATIONS FOUND IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, U.S.D.O.T., AND FEDERAL HIGHWAY ADMINISTRATION. SPECIFICALLY, REGULATORY & WARNING SIGNS SHALL BE FABRICATED OF FLAT ALUMINUM SHEETS AND SHALL BE COVERED WITH DIAMOND GRADE REFLECTIVE SHEETING, SERIES 4000 TYPE XI DESIGNATION PER ASTM.



LEGEND



GRAPHIC SCALE



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NH LIC. NO. 9368 RI LIC. NO. 6694

ERIC M. HOUGH, P.E.
PROFESSIONAL ENGINEER
NJ LIC. NO. 51893

NO.	DATE	REVISION
1	3-19-24	REVISED AS PER SITE PLAN
2	6-13-24	REVISED AS PER SITE PLAN
3	7-18-24	REVISED AS PER SITE PLAN
4	4-16-25	REVISED AS PER SITE PLAN

DRAWING TITLE
PARKING PLAN

PROJECT
RESIDENTIAL DEVELOPMENT
BLOCK 4201.01, LOT 33.03
GROVERS MILL ROAD & MALL ACCESS ROAD
TOWNSHIP OF LAWRENCE
MERCER COUNTY, NEW JERSEY

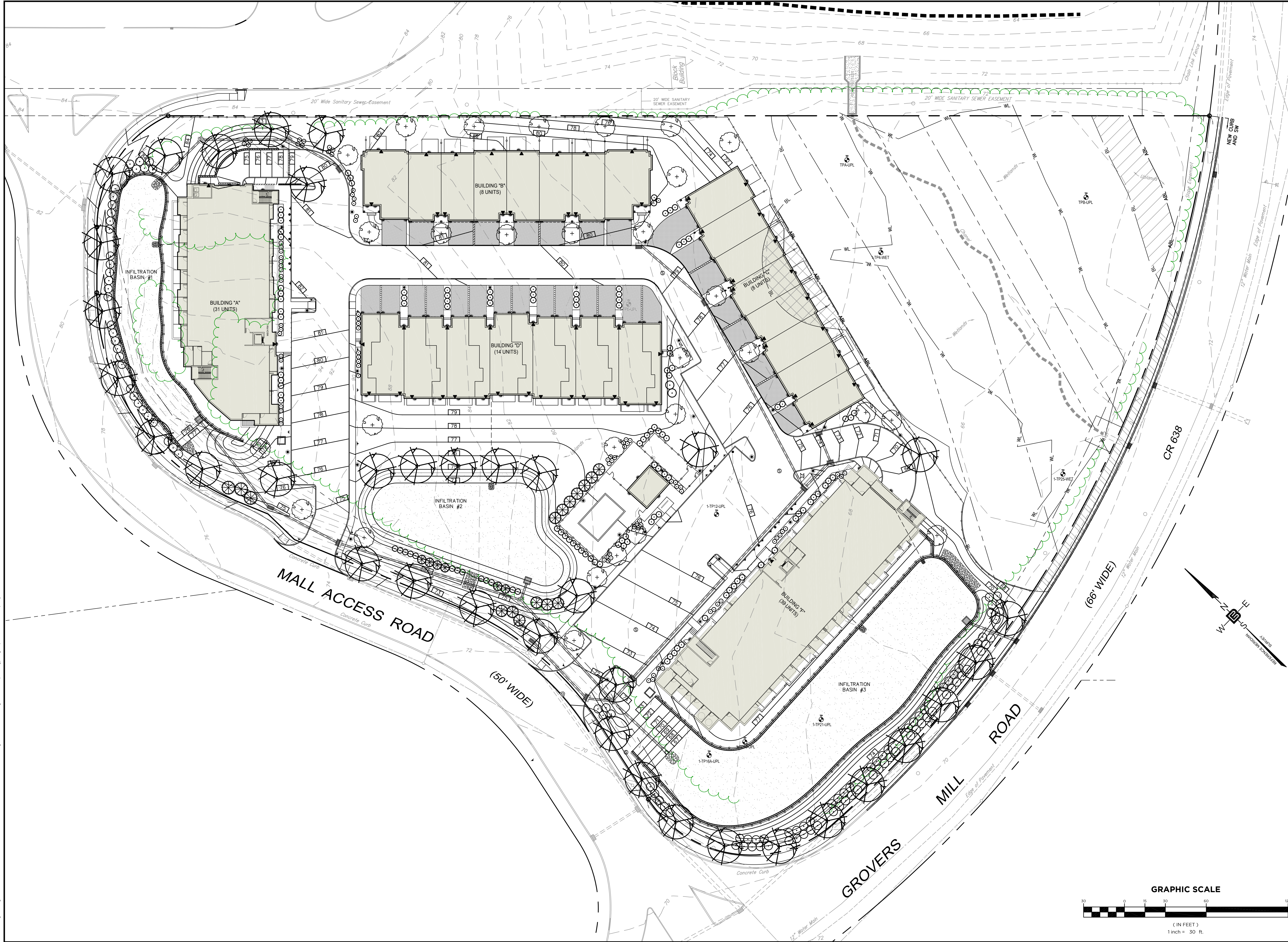
CLIENT
TRICONE
2525 US-130 SUITE B4
CRANBURY, NJ 08512

CERTIFICATE OF AUTHORIZATION
24GA28068900 / 21MH00002800

DRAWN BY VL	CHECKED BY C.J.B
SCALE 1" = 30'	PROJECT NO. 21-210
DATE 10-12-23	REVISION NO. 4
DRAWING NO.	

C2.7

© Bertin Engineering Associates, Inc. 1182.168.16.218E Job Files\2022 12-21-210 Lawrence\Design\02-Civil\Cadd\dwg\ 21-210-PL (working).dwg Apr 23, 2025 - 3:22pm jeshumacher



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PROFESSIONAL ENGINEER
NJ LIC. NO. 51893

NO.	DATE	REVISION
3	4-18-25	REVISED AS PER SITE PLAN
2	7-18-24	REVISED AS PER SITE PLAN
1	6-13-24	REVISED AS PER SITE PLAN

DRAWING TITLE
GRADING & LANDSCAPE PLAN

PROJECT
RESIDENTIAL DEVELOPMENT
BLOCK 4201.01, LOT 33.03
GROVERS MILL ROAD & MALL ACCESS ROAD
TOWNSHIP OF LAWRENCE
MERCER COUNTY, NEW JERSEY

CLIENT
TRICONE
2525 US-130 SUITE B4
CRANBURY, NJ 08512

CERTIFICATE OF AUTHORIZATION
24GA28068900 / 21MH00002800

DRAWN BY
C.B. JR.

CHECKED BY
C.J.B.

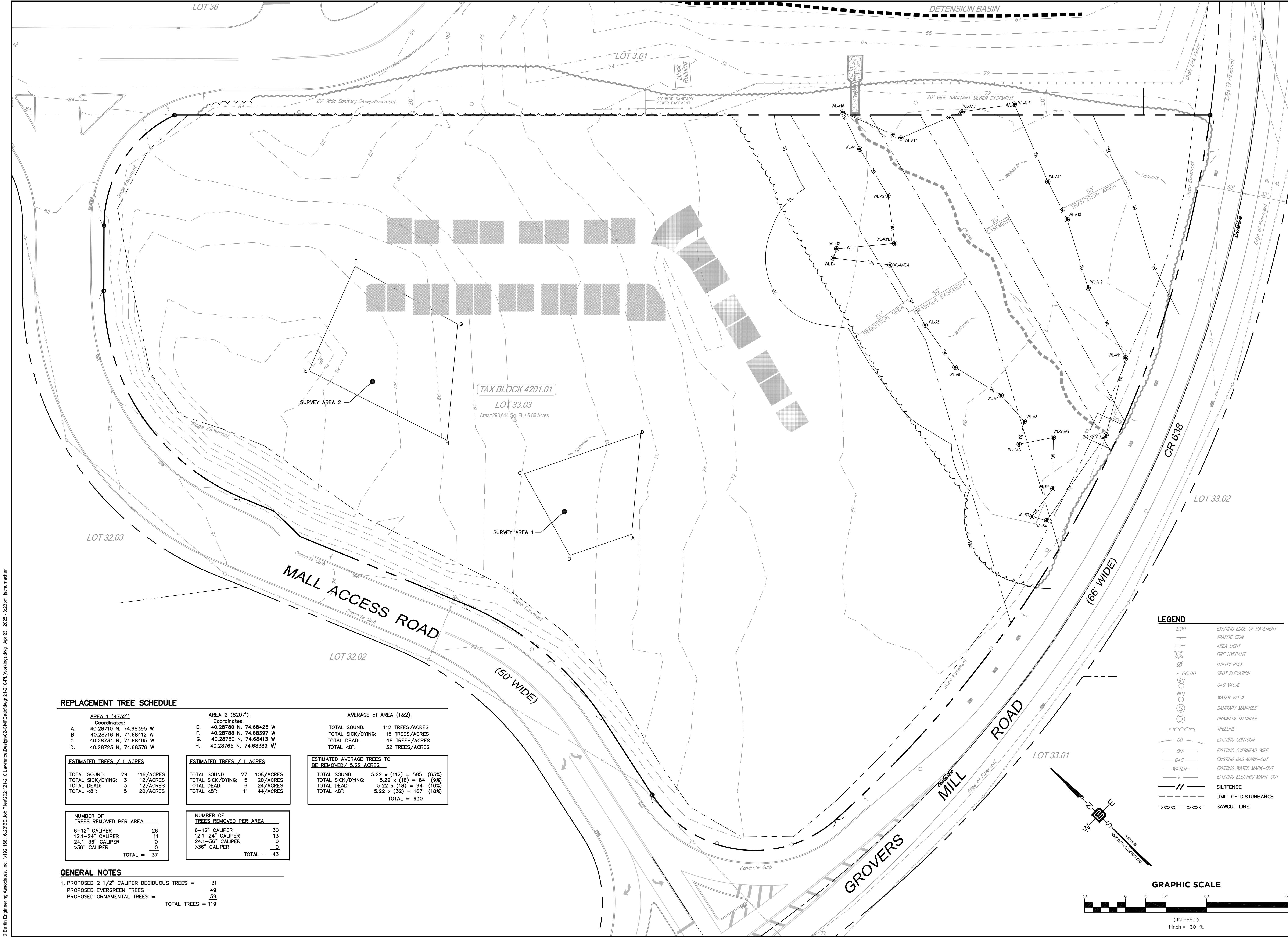
SCALE
1" = 30'

PROJECT NO.
21-210

DATE
3-19-24

REVISION NO.
3

DRAWING NO.
C2.8



REPLACEMENT TREE SCHEDULE

AREA 1 (4732')		AREA 2 (8207')		AVERAGE of AREA (1&2)	
Coordinates:		Coordinates:		Coordinates:	
A.	40.28710 N, 74.68395 W	E.	40.28780 N, 74.68425 W	TOTAL SOUND:	112 TREES/ACRES
B.	40.28716 N, 74.68412 W	F.	40.28788 N, 74.68397 W	TOTAL SICK/DYING:	16 TREES/ACRES
C.	40.28734 N, 74.68405 W	G.	40.28750 N, 74.68413 W	TOTAL DEAD:	18 TREES/ACRES
D.	40.28723 N, 74.68376 W	H.	40.28765 N, 74.68389 W	TOTAL <8":	32 TREES/ACRES
ESTIMATED TREES / 1 ACRES		ESTIMATED TREES / 1 ACRES		ESTIMATED AVERAGE TREES TO BE REMOVED / 5.22 ACRES	
TOTAL SOUND:	29 116/ACRES	TOTAL SOUND:	27 108/ACRES	TOTAL SOUND:	5.22 x (112) = 585 (63%)
TOTAL SICK/DYING:	3 12/ACRES	TOTAL SICK/DYING:	5 20/ACRES	TOTAL SICK/DYING:	5.22 x (16) = 84 (9%)
TOTAL DEAD:	3 12/ACRES	TOTAL DEAD:	6 24/ACRES	TOTAL DEAD:	5.22 x (18) = 94 (10%)
TOTAL <8":	5 20/ACRES	TOTAL <8":	11 44/ACRES	TOTAL <8":	5.22 x (32) = 167 (18%)
TOTAL = 37		TOTAL = 43		TOTAL = 930	
NUMBER OF TREES REMOVED PER AREA		NUMBER OF TREES REMOVED PER AREA			
6-12" CALIPER	26	6-12" CALIPER	30		
12.1-24" CALIPER	11	12.1-24" CALIPER	13		
24.1-36" CALIPER	0	24.1-36" CALIPER	0		
>36" CALIPER	0	>36" CALIPER	0		
TOTAL = 37		TOTAL = 43			

GENERAL NOTES

- PROPOSED 2 1/2" CALIPER DECIDUOUS TREES = 31
 - PROPOSED EVERGREEN TREES = 49
 - PROPOSED ORNAMENTAL TREES = 39
- TOTAL TREES = 119

LEGEND

- EXISTING EDGE OF PAVEMENT
- TRAFFIC SIGN
- AREA LIGHT
- FIRE HYDRANT
- UTILITY POLE
- SPOT ELEVATION
- GAS VALVE
- WATER VALVE
- SANITARY MANHOLE
- DRAINAGE MANHOLE
- TREELINE
- EXISTING CONTOUR
- EXISTING OVERHEAD WIRE
- EXISTING GAS MARK-OUT
- EXISTING WATER MARK-OUT
- EXISTING ELECTRIC MARK-OUT
- SILTENCE
- LIMIT OF DISTURBANCE
- SAWCUT LINE

GRAPHIC SCALE



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ERIC M. HOUGH, P.E.
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NJ LIC. NO. 51893

DRAWING TITLE
TREE REMOVAL PLAN

PROJECT
RESIDENTIAL DEVELOPMENT
BLOCK 4201.01, LOT 33.03
GROVERS MILL ROAD & MALL ACCESS ROAD
TOWNSHIP OF LAWRENCE
MERCER COUNTY, NEW JERSEY

CLIENT
TRICONE
2525 US-130 SUITE B4
CRANBURY, NJ 08512

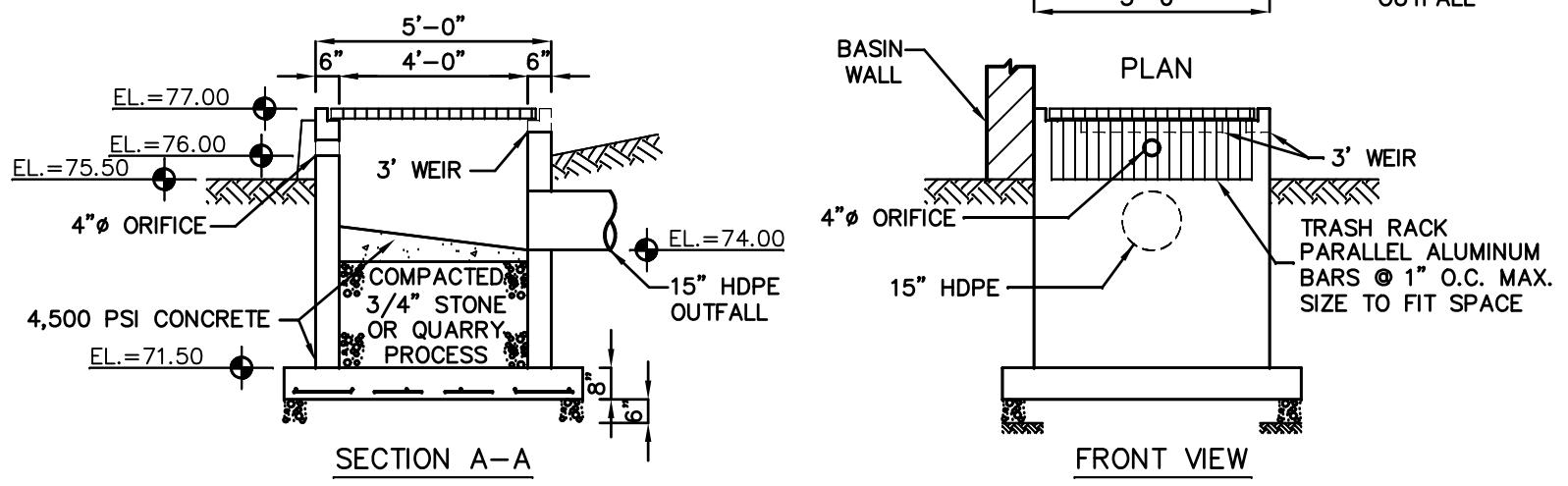
CERTIFICATE OF AUTHORIZATION
24GA28068900 / 21MH00002800

DRAWN BY: V.L. CHECKED BY: C.J.B.
SCALE: 1" = 30' PROJECT NO: 21-210
DATE: 3-19-24 REVISION NO: 1
DRAWING NO:

C2.10



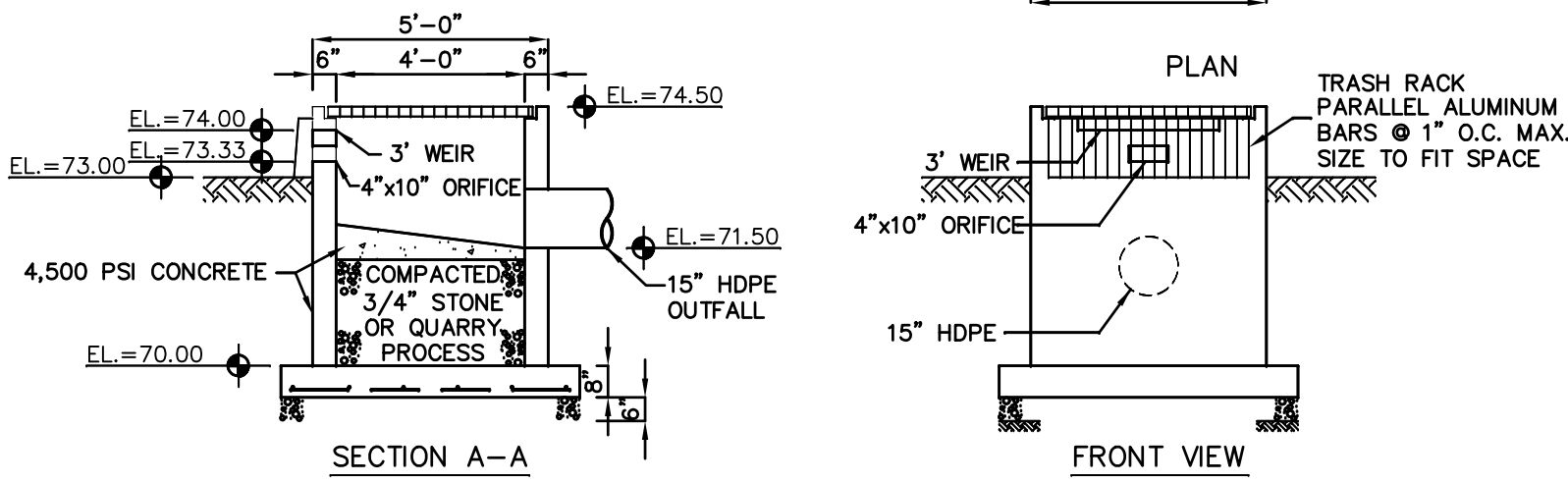
- NOTES:
1. ALL CONCRETE SHALL BE 4,500 PSI.
 2. STRUCTURAL CALCULATIONS SHALL BE PROVIDED TO TOWNSHIP ENGINEER PRIOR TO CONSTRUCTION.



OUTLET CONTROL STRUCTURE #1

NOT TO SCALE

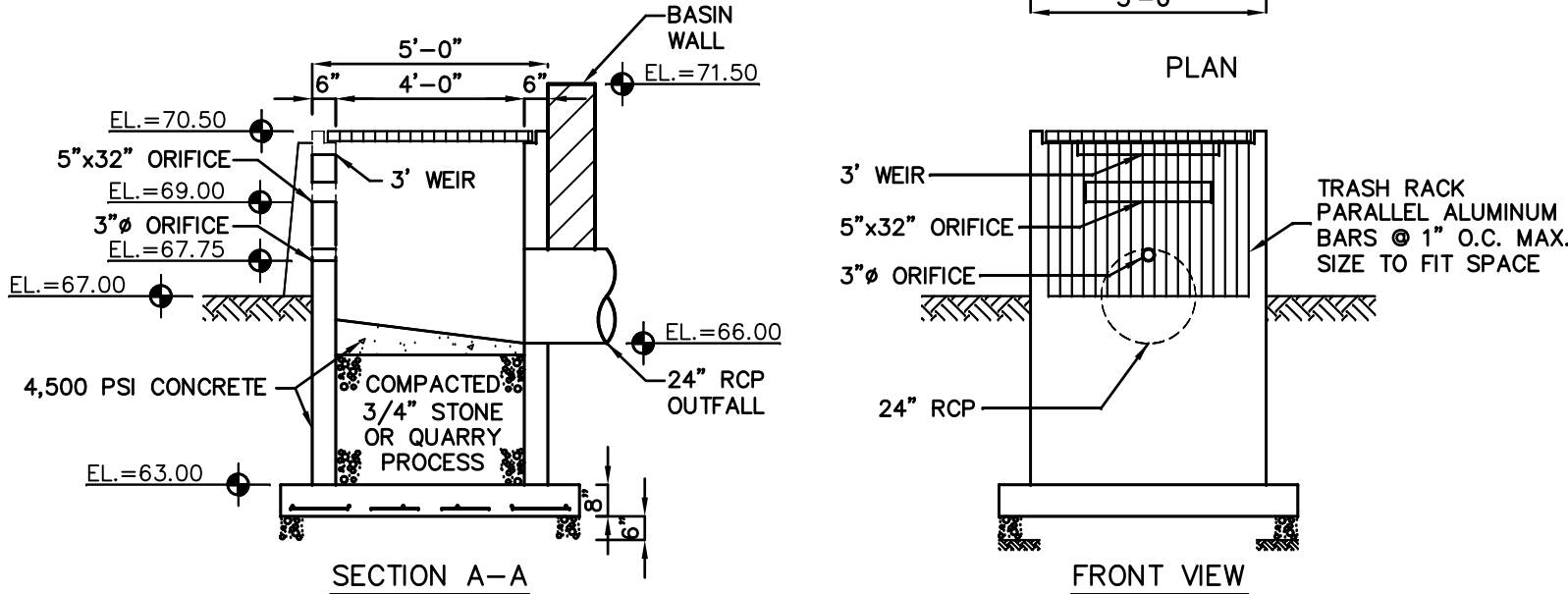
- NOTES:
1. ALL CONCRETE SHALL BE 4,500 PSI.
 2. STRUCTURAL CALCULATIONS SHALL BE PROVIDED TO TOWNSHIP ENGINEER PRIOR TO CONSTRUCTION.



OUTLET CONTROL STRUCTURE #2

NOT TO SCALE

- NOTES:
1. ALL CONCRETE SHALL BE 4,500 PSI.
 2. STRUCTURAL CALCULATIONS SHALL BE PROVIDED TO TOWNSHIP ENGINEER PRIOR TO CONSTRUCTION.

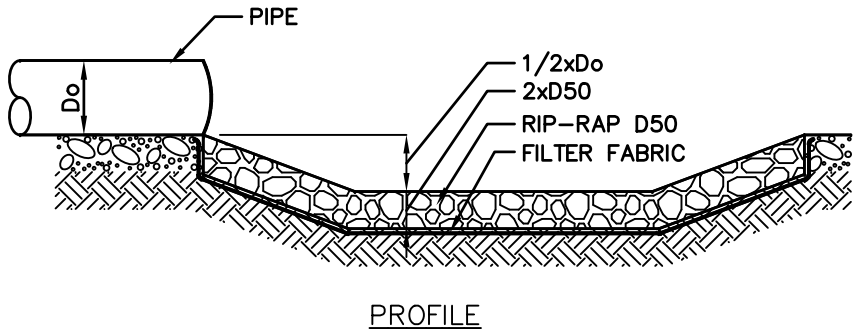


OUTLET CONTROL STRUCTURE #3

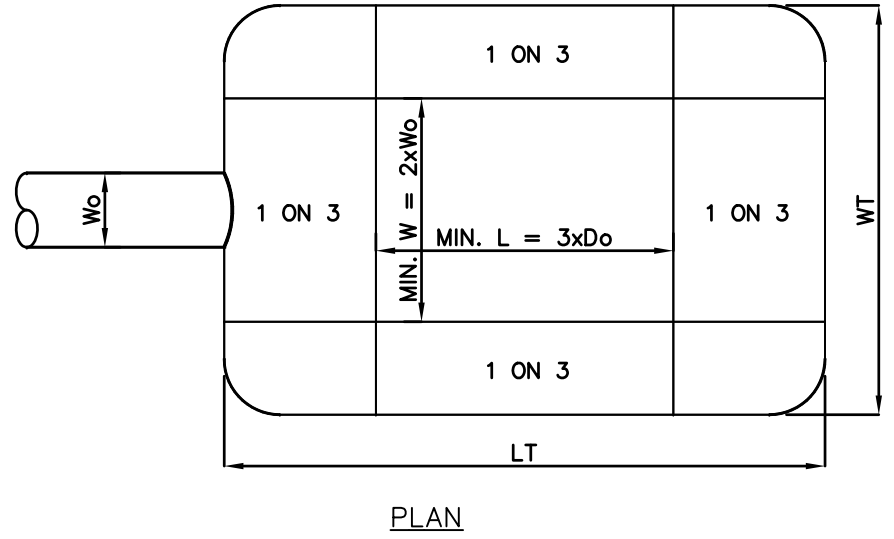
NOT TO SCALE

OUTLET SCHEDULE

OUTLET	D _o	W _o	L	W	LT	WT	D ₅₀
#1	15"	15"	3.75'	2.5'	11.25'	10'	6"
#2	10"	10"	2.5'	1.67'	7.5'	6.67'	4"
#3	10"	10"	2.5'	1.67'	7.5'	6.67'	4"
#4	18"	18"	3.75'	2.5'	8.75'	7.5'	9"
#5	6"	6"	1.5'	1'	6.5'	6'	4"
#6	10"	10"	2.5'	1.67'	7.5'	6.67'	4"



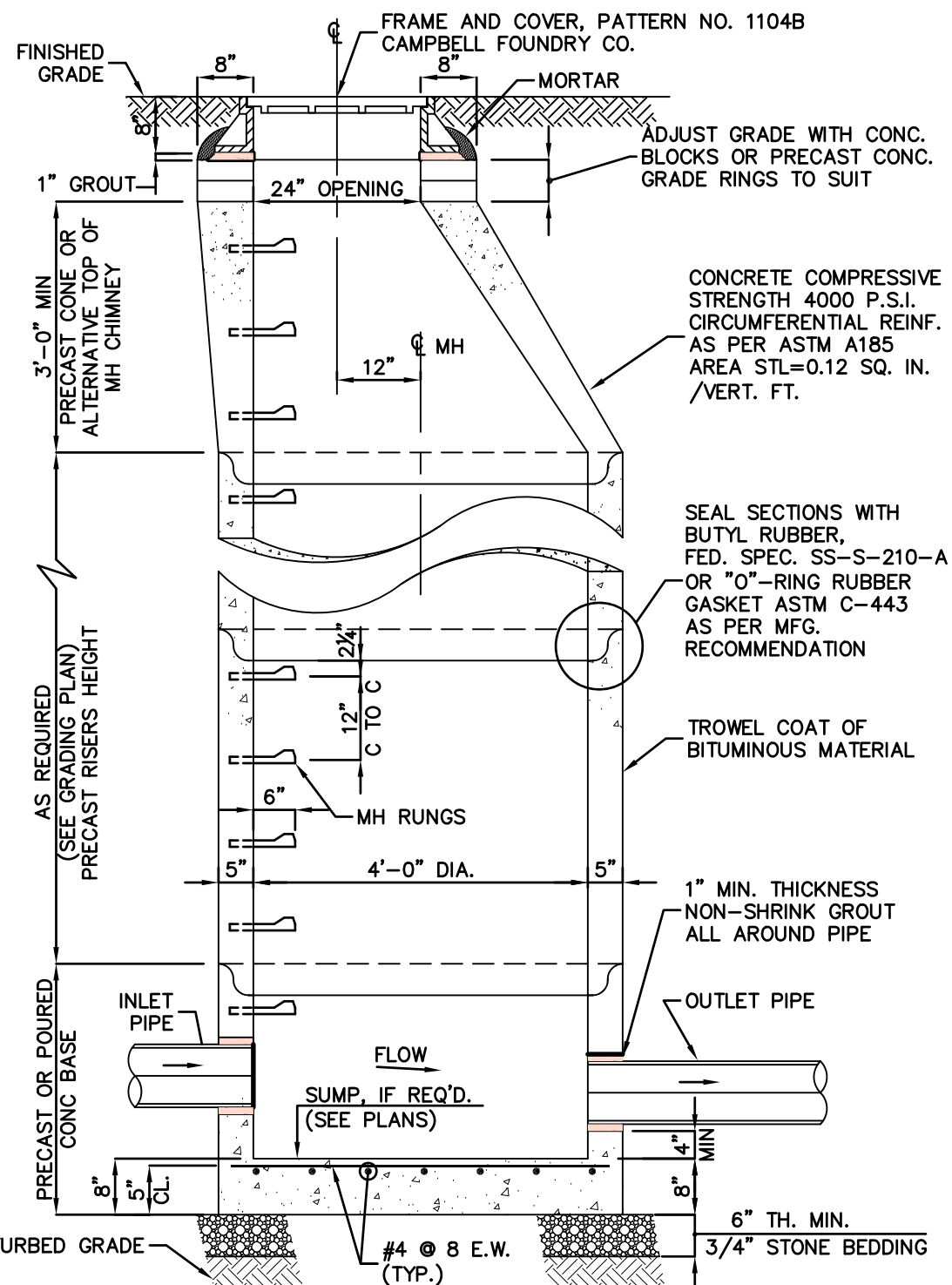
PROFILE



PLAN

PREFORMED SCOUR HOLE DETAIL

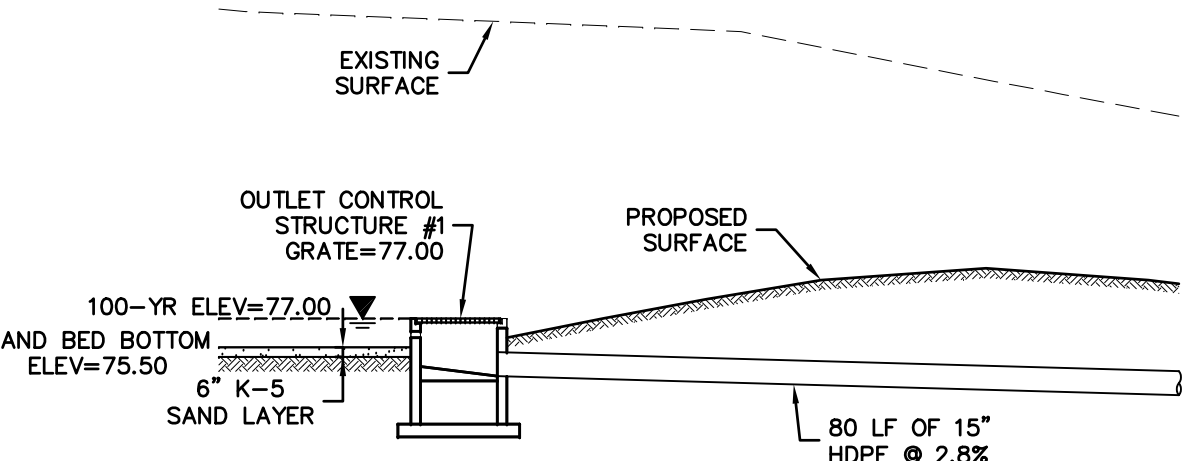
NOT TO SCALE



- NOTES:
1. MANHOLE DESIGN SPECIFICATIONS CONFORMS TO "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS" ASTM C478, LATEST REVISION.
 2. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, INCLUDING STANDARD DETAILS AND SEPARATE DRILL SHEETS FOR EACH STRUCTURE, TO ENGINEER PRIOR TO FABRICATION.

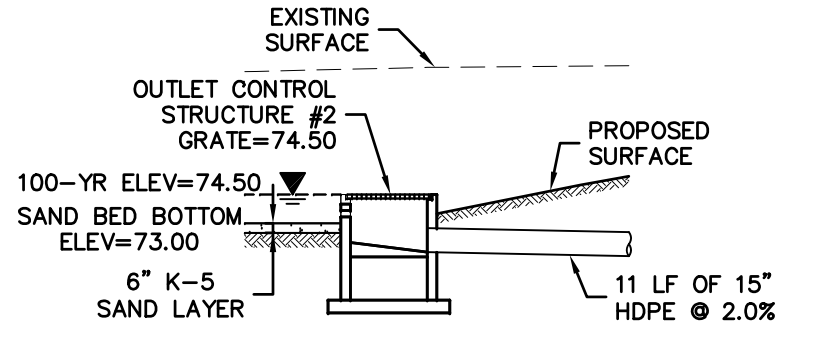
DRAINAGE MANHOLE

NOT TO SCALE



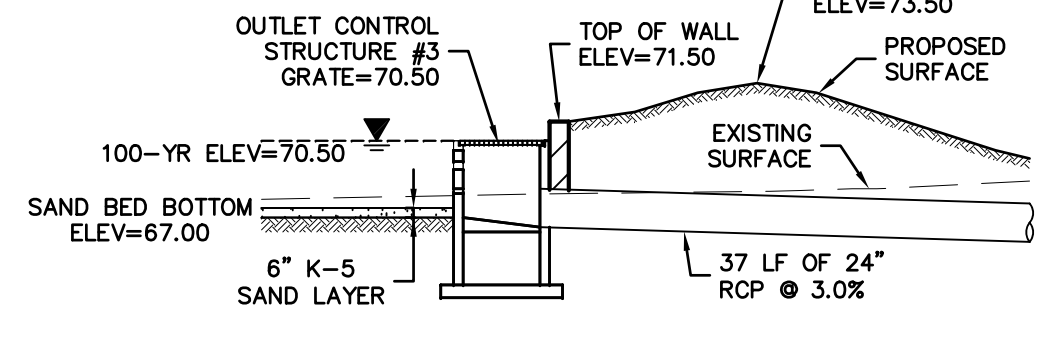
SAND FILTER PROFILE (SECTION A-A)

SCALE: 1"=10'



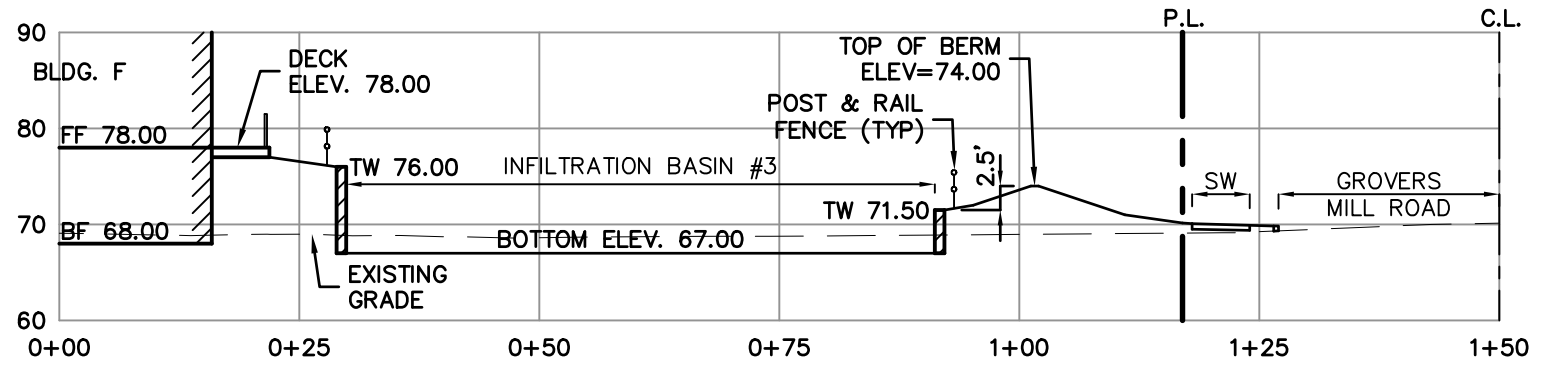
SAND FILTER PROFILE (SECTION B-B)

SCALE: 1"=10'



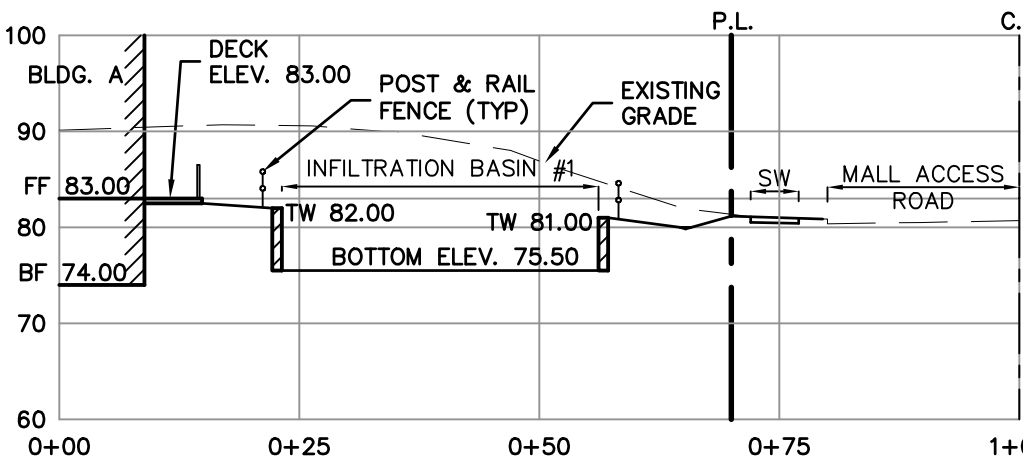
SAND FILTER PROFILE (SECTION C-C)

SCALE: 1"=10'



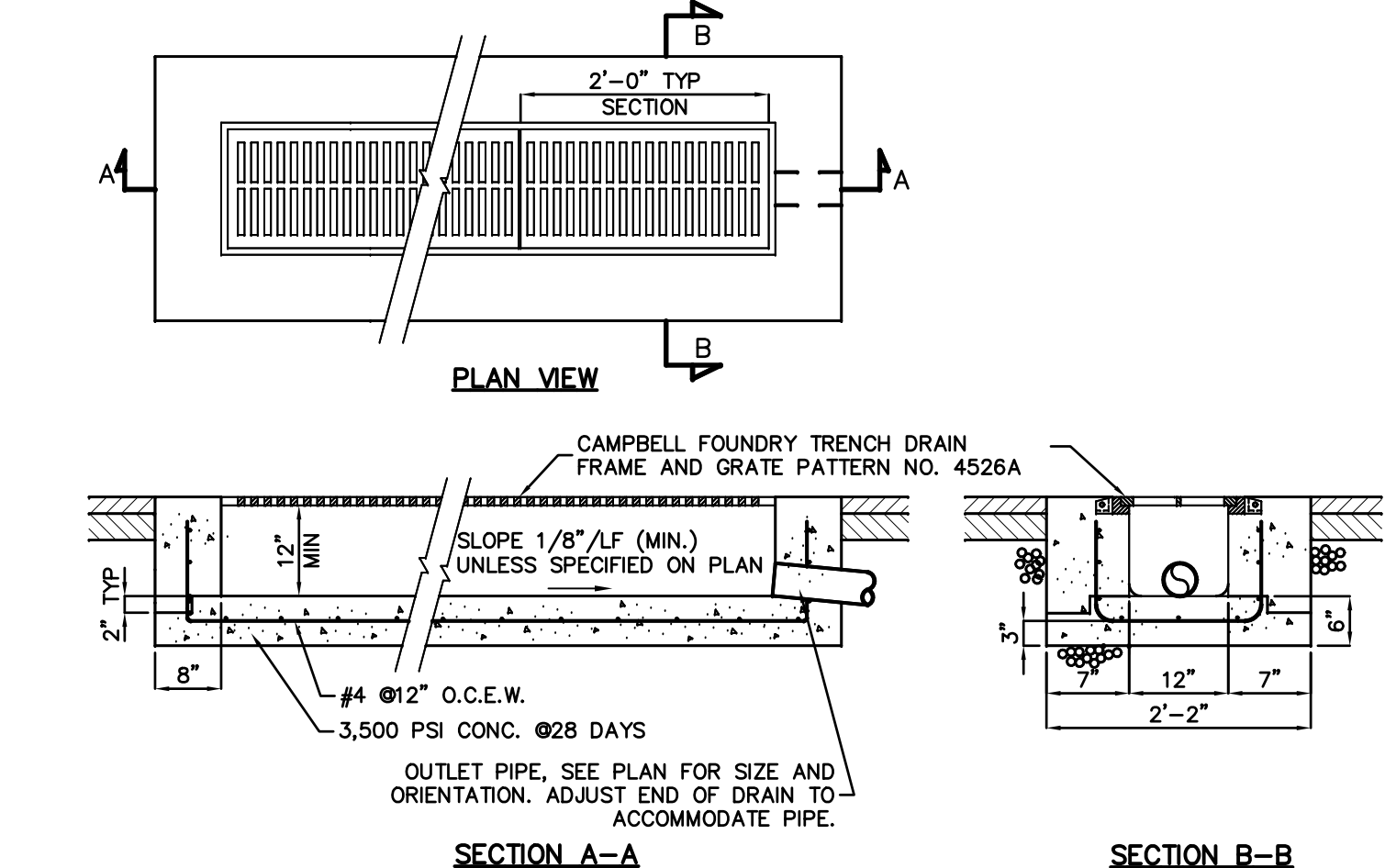
BUILDING F INFILTRATION BASIN #3 SECTION

NOT TO SCALE



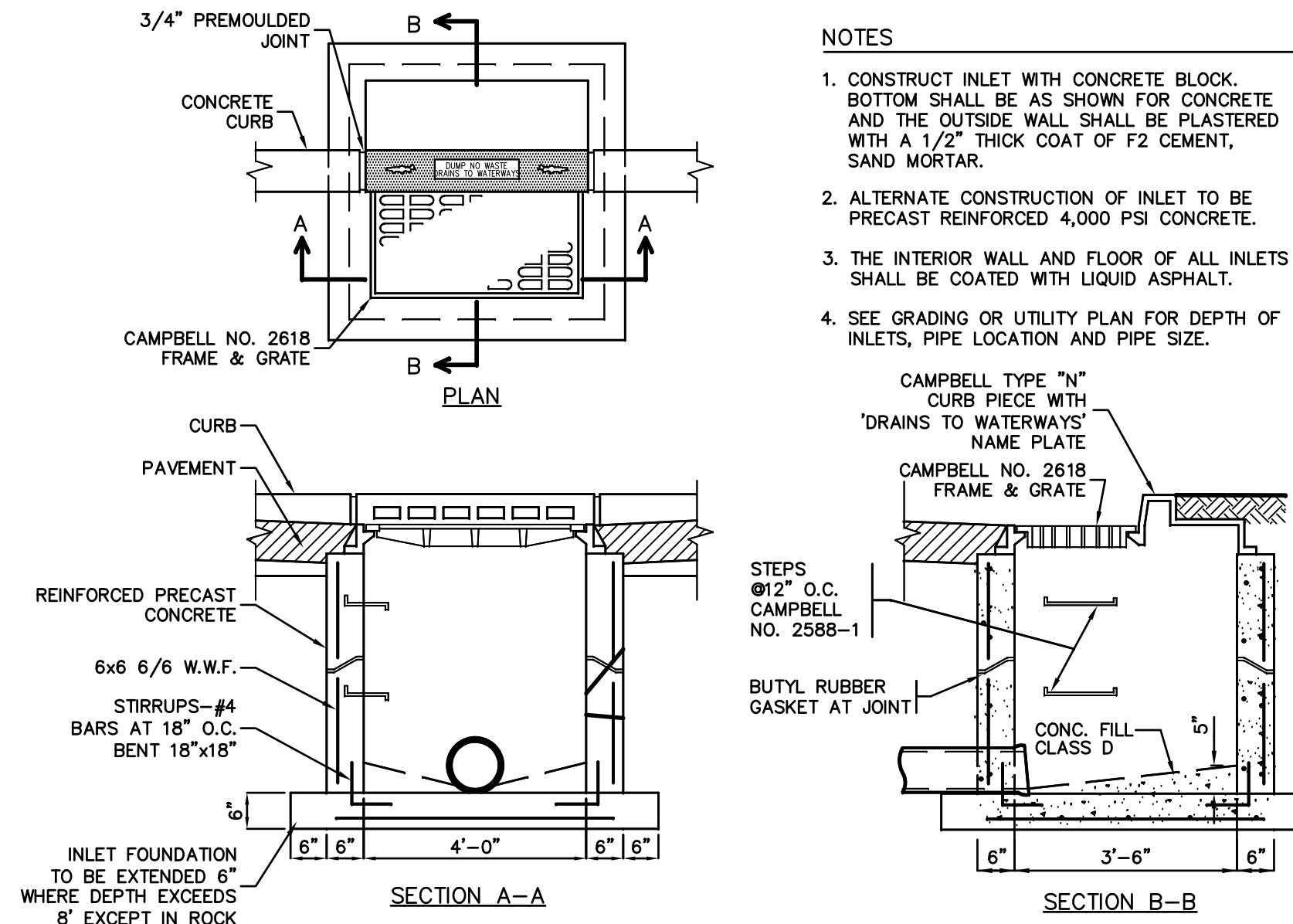
BUILDING A INFILTRATION BASIN #1 SECTION

NOT TO SCALE



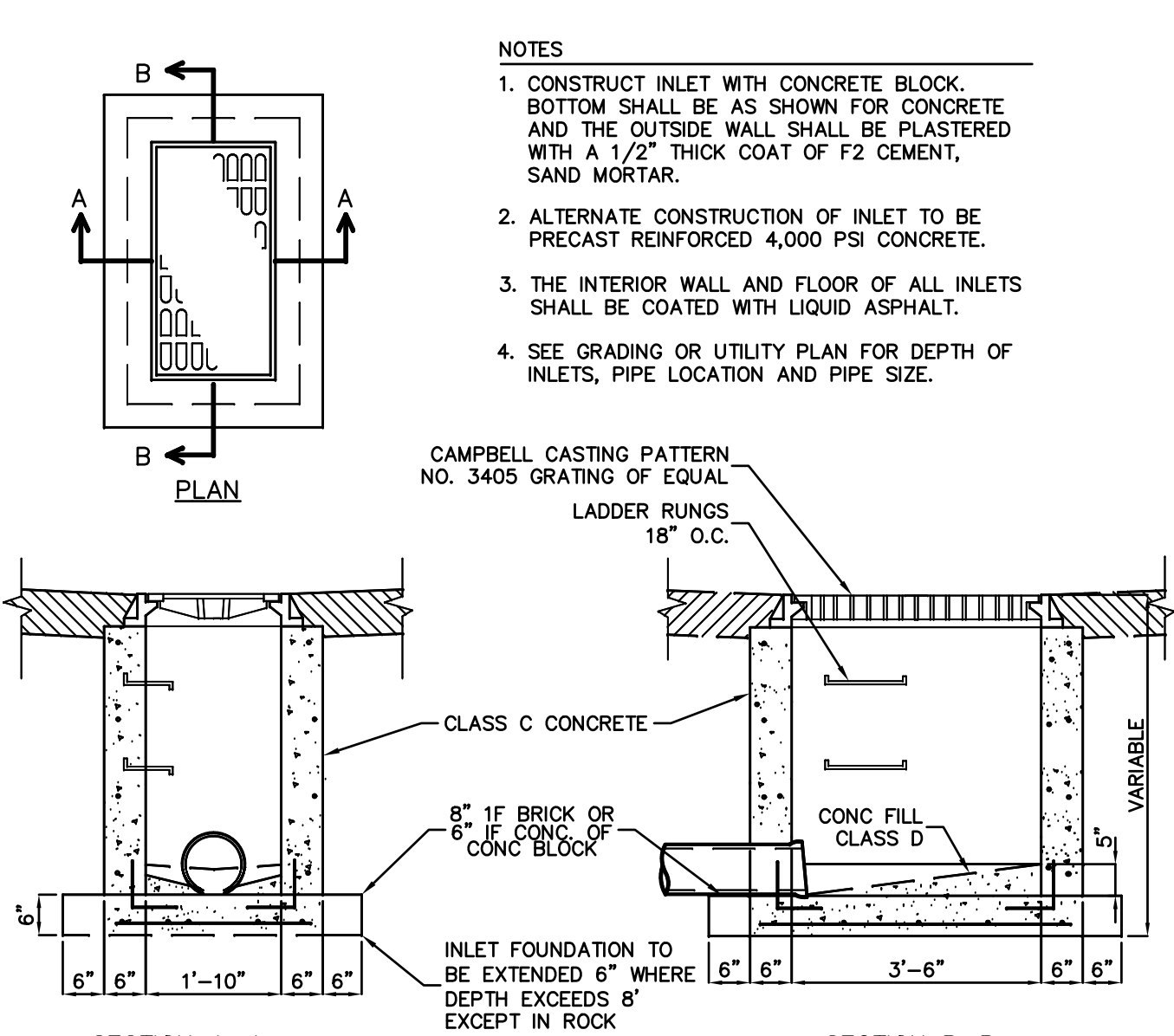
TRENCH DRAIN DETAIL

NOT TO SCALE



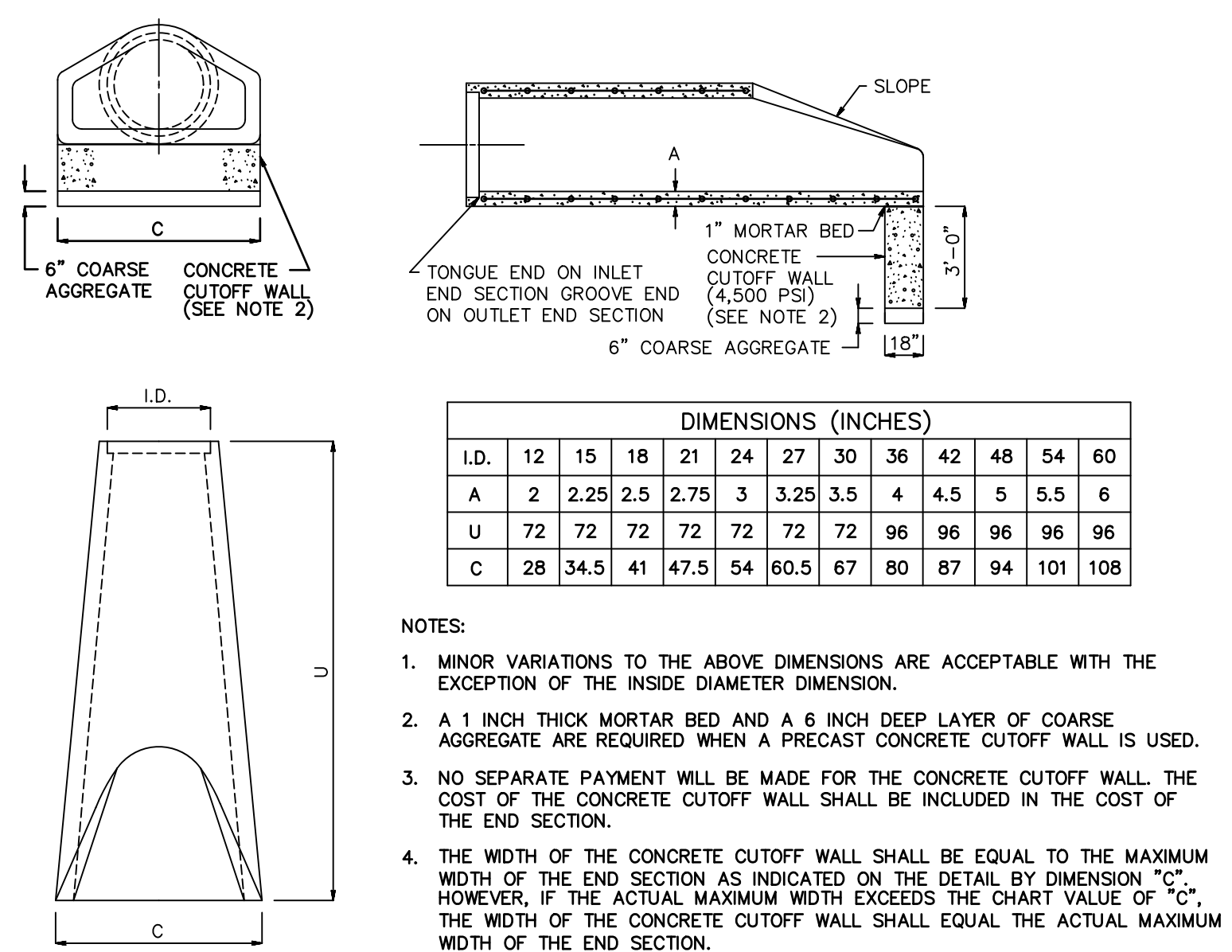
CURB INLET (TYPE B)

NOT TO SCALE



CATCH BASIN, TYPE A

NOT TO SCALE



FLARED END SECTION DETAIL

NOT TO SCALE

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ERIC M. HOUGH, P.E.

PROFESSIONAL ENGINEER
NJ LIC. NO. 51893

NOT FOR CONSTRUCTION

NO.	DATE	REVISION
1	10-12-23	AS SHOWN

DRAINAGE DETAILS

PROJECT

RESIDENTIAL DEVELOPMENT

BLOCK 420101, LOT 33.03
GROVERS MILL ROAD & MALL ACCESS ROAD
TOWNSHIP OF LAWRENCE
MERCER COUNTY, NEW JERSEY

CLIENT

TRICONE
2525 US-130 SUITE B4
CRANBURY, NJ 08512

CERTIFICATE OF AUTHORIZATION
24GA28068900 / 21MH00002800

DRAWN BY: M.B.L. CHECKED BY: C.J.B.

SCALE: AS SHOWN PROJECT NO: 21-210

DATE: 10-12-23 REVISION NO: 3

DRAWING NO.

C3.2

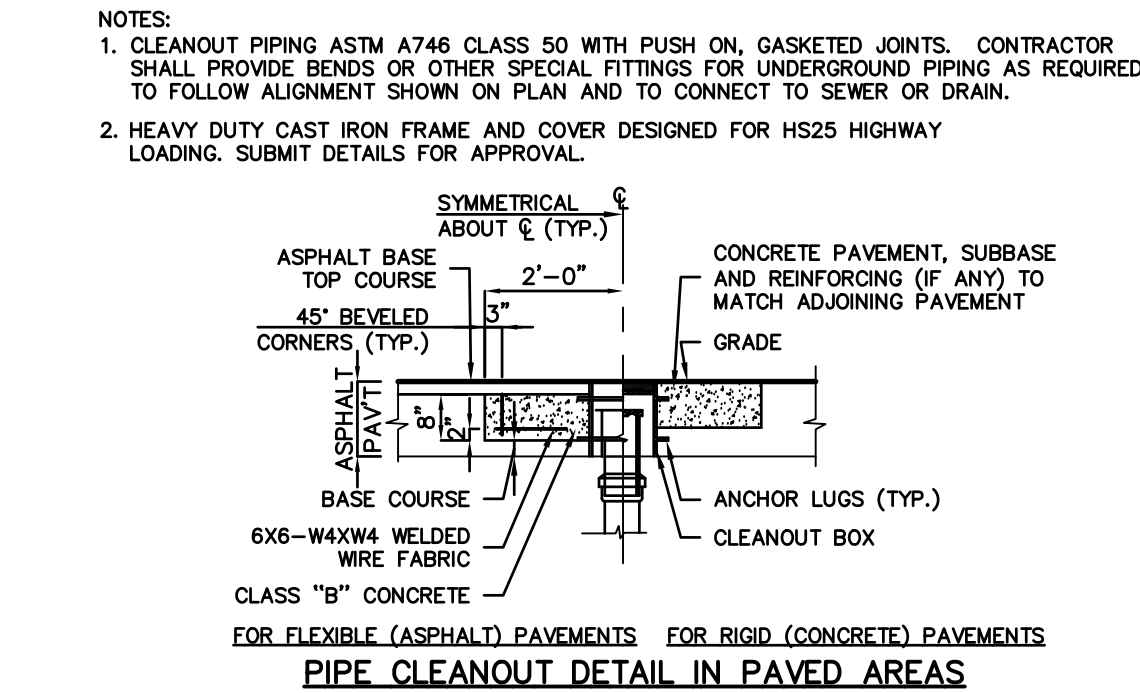
1.0 GENERAL

- ## 2.0 WATER

- ### 3.0 STORM & SANITARY SEWER

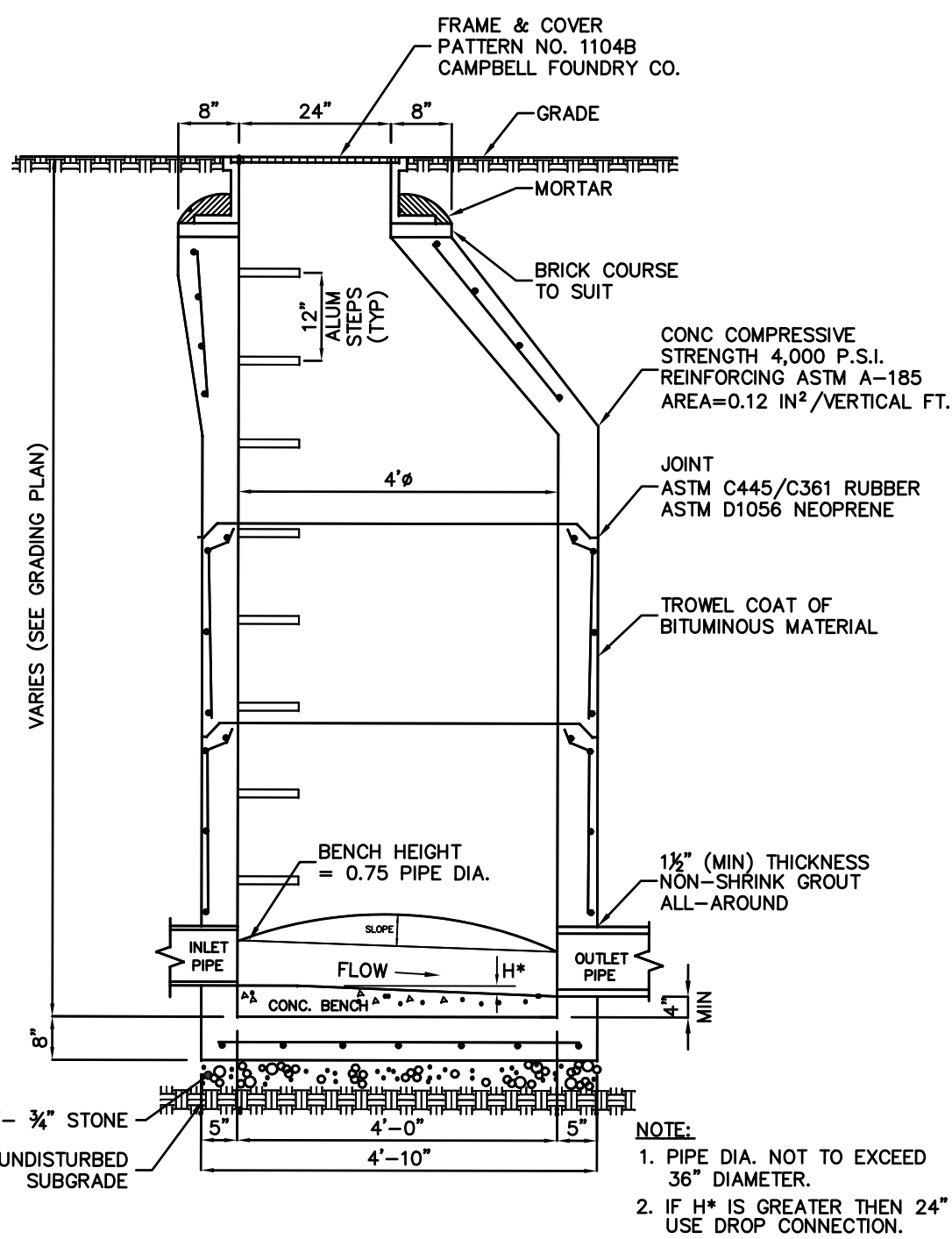
- #### 4.0 NATURAL GAS & ELECTRIC

- ### CONCRETE/METAL PIPE IN TRENCH DETAIL

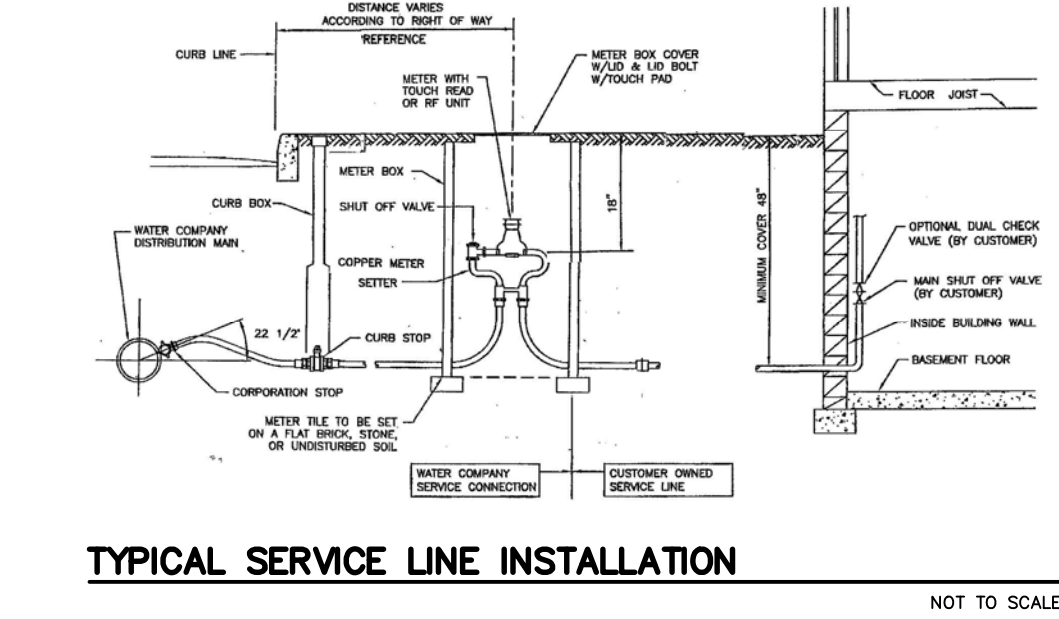


NOTES:

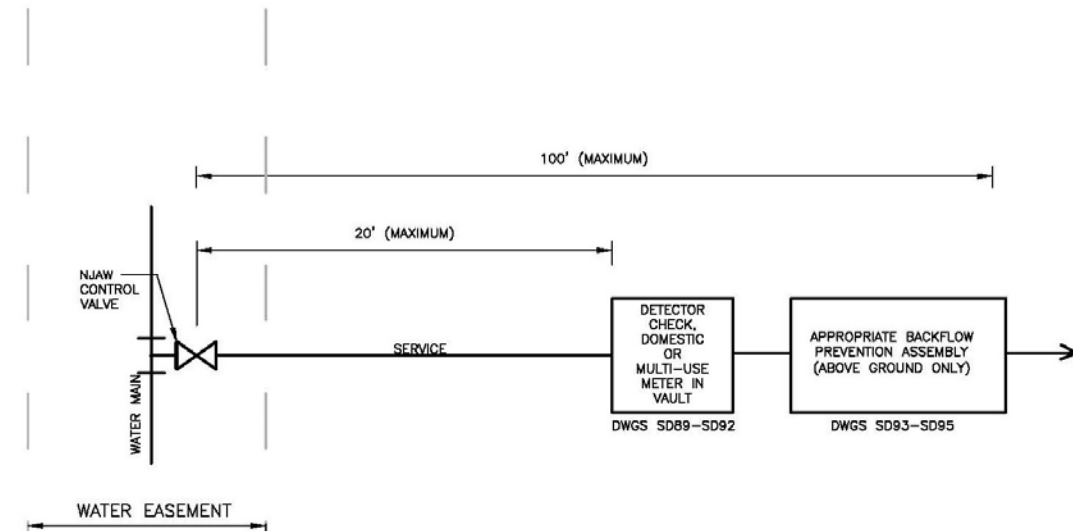
- ### **BUILDING SEWER CONNECTION AND CLEANOUT DETAIL**



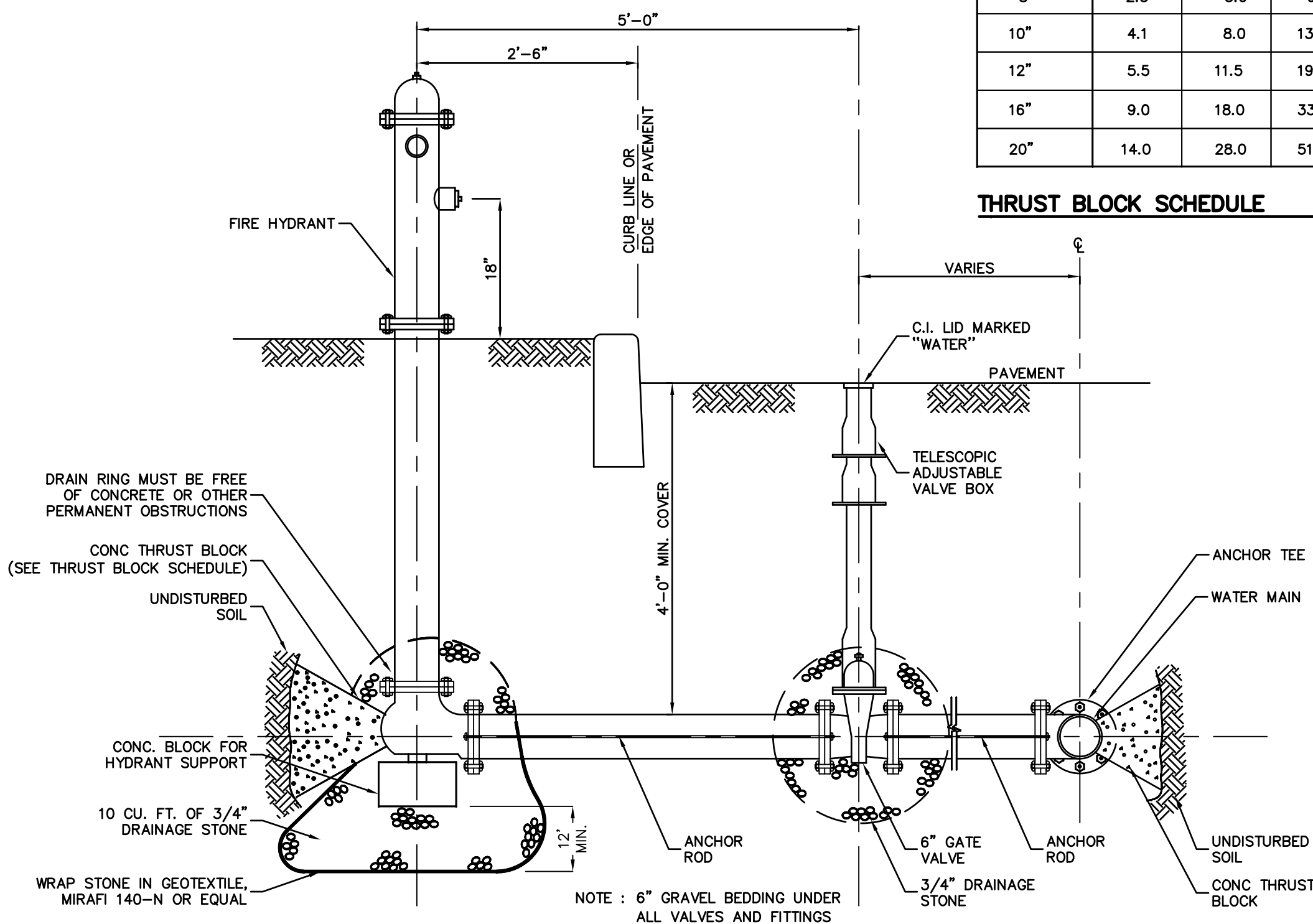
STANDARD SANITARY MANHOLE



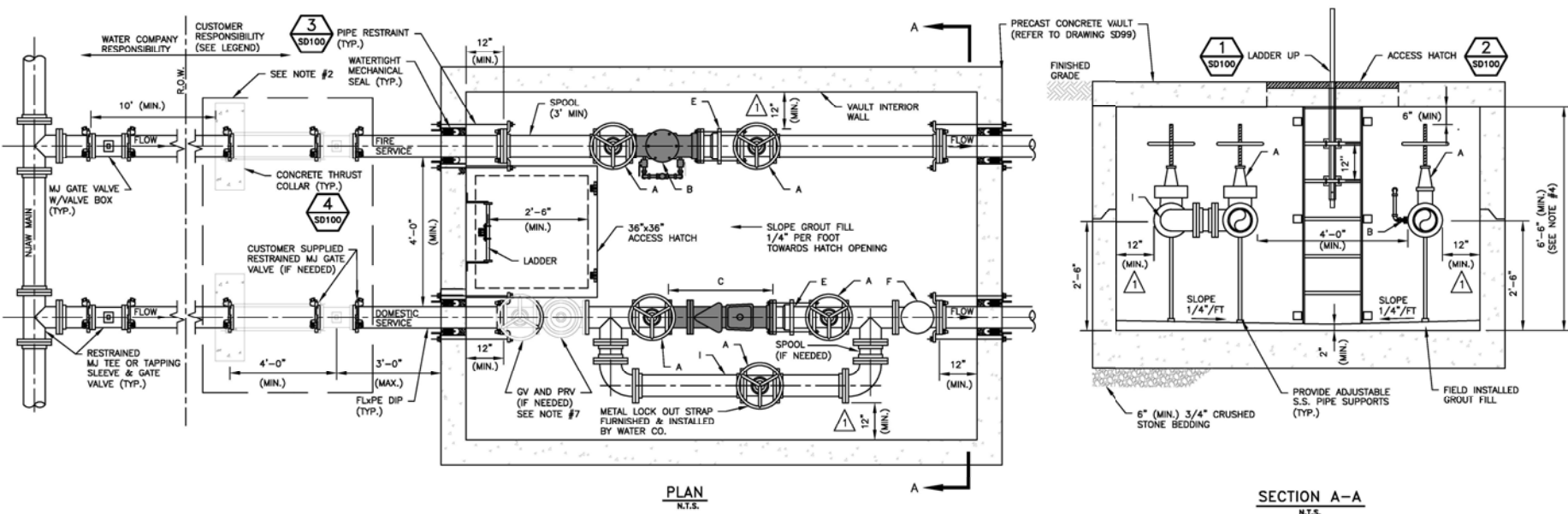
TYPICAL SERVICE LINE INSTALLATION



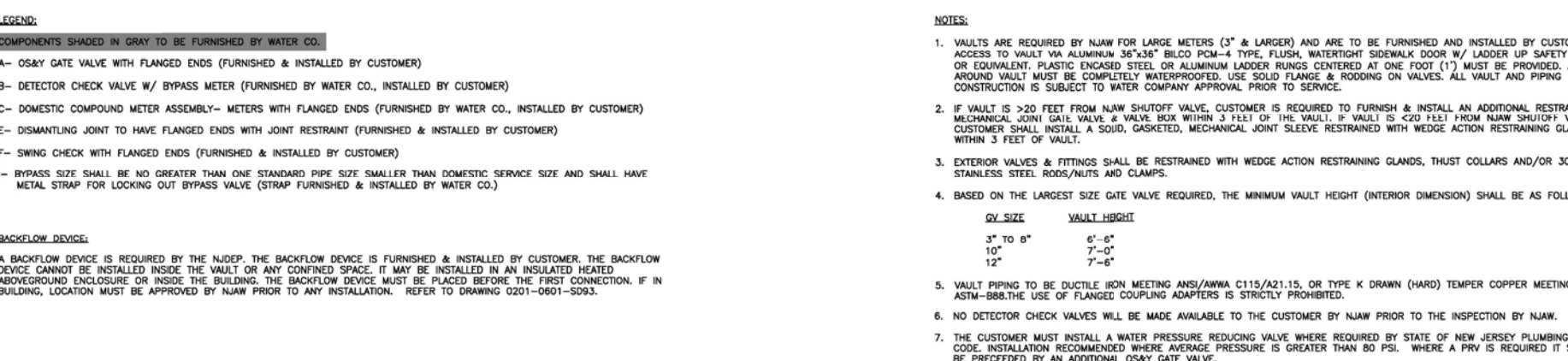
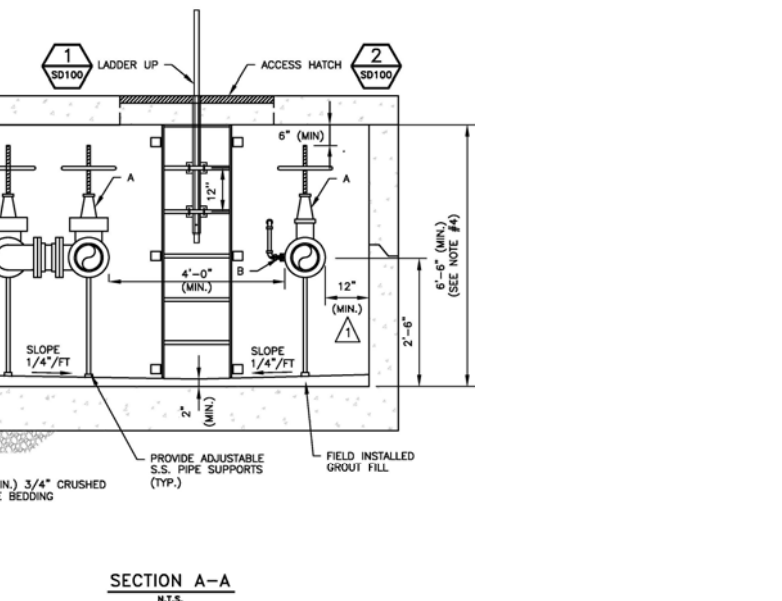
VAULT & ENCLOSURE LOCATION- MAIN IN EASEMENT




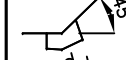

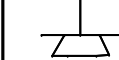
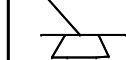

TYPICAL FIRE HYDRANT INSTALLATION



PLASTIC PIPE IN TRENCH



STANDARD DETAIL DOMESTIC & FIRE SERVICE METER VAULT

PIPE DIAMETER (ø)	5°-22.5°	23°-45°	46°-90°	TEE CONNECTION	45° WYE	PLUG
						
CONTACT BEARING AREA OF BLOCK WITH EARTH, SQUARE FEET						
4"	0.5	1.4	2.6	1.8	2.2	2.0
6"	1.5	3.0	6.0	4.0	4.5	4.5
8"	2.5	5.0	9.5	6.5	9.5	8.0
10"	4.1	8.0	13.0	9.5	12.5	12.5
12"	5.5	11.5	19.0	13.5	16.0	18.0
16"	9.0	18.0	33.0	23.0	27.0	32.0
20"	14.0	28.0	51.0	36.0	42.0	50.5

THRUST BLOCK SCHEDULE

The image contains several technical drawings of pipe fittings and bends, showing various details like building paper, steel rods, and concrete volume.

- PLAN - 90° BEND**: A plan view of a 90-degree pipe bend. It shows two layers of building paper (D) and an undisturbed earth area. The bend is labeled with "90°" and "D".
- PLAN - 45° BEND**: A plan view of a 45-degree pipe bend. It shows two layers of building paper (D) and an undisturbed earth area. The bend is labeled with "45°" and "D".
- PLAN - TEE & PLUG**: A plan view of a tee fitting with a plug. It shows two layers of building paper (D) and an undisturbed earth area. The plug is labeled with "PLUG" and "D".
- PLAN - 22 1/2° BEND**: A plan view of a 22 1/2-degree pipe bend. It shows two layers of building paper (D) and an undisturbed earth area. The bend is labeled with "22 1/2°" and "D".
- ELEVATION AT FITTING**: An elevation view of a pipe fitting. It shows a 3-#8 steel rod embedded in concrete. The concrete volume is labeled "CONCRETE VOLUME-V". The fitting is labeled with "D".
- ELEVATION - PLUGGED TEE**: An elevation view of a plugged tee. It shows a plug and two layers of building paper (D). The plug is labeled with "PLUG" and "D".
- ELEVATION VERTICAL BEND**: An elevation view of a vertical pipe bend. It shows a 3-#8 steel rod embedded in concrete. The concrete volume is labeled "CONCRETE VOLUME-V". The bend is labeled with "D".

THRUST BLOCK DETAILS

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CALISTO J. BERTIN, P.E.
PROFESSIONAL ENGINEER

LIC. NO. 12950	NJ LIC. NO. 2
LIC. NO. 40595	NY LIC. NO. 6
LIC. NO. 9368	RI LIC. NO.

ERIC M. HOUGH, P.E.

PROFESSIONAL ENGINEER
NJ LIC. NO. 51893

[illegible]

DRAWING TITLE

UTILITY DETAILS

PROJE

RESIDENTIAL DEVELOPMENT

BLOCK 4201.01, LOT 33.03
GROVERS MILL ROAD & MALL AC
TOWNSHIP OF LAWRENCE
MERCER COUNTY, NEW JERSEY

CLIENT

TRICONE
2525 US-130 S
CRANBURY, NJ

CERTIFICATE OF AUTHORIZATION
24GA28068900 / 21MH0000

DRAWN BY M.I.	CHECKED BY C.
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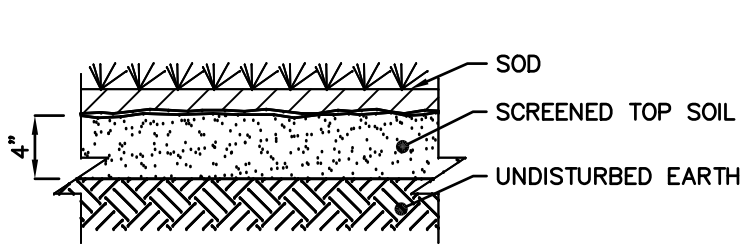
SCALE	PROJECT NO.
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AS SHOWN	21-
DATE	REVISION NO.

10-12-23	2
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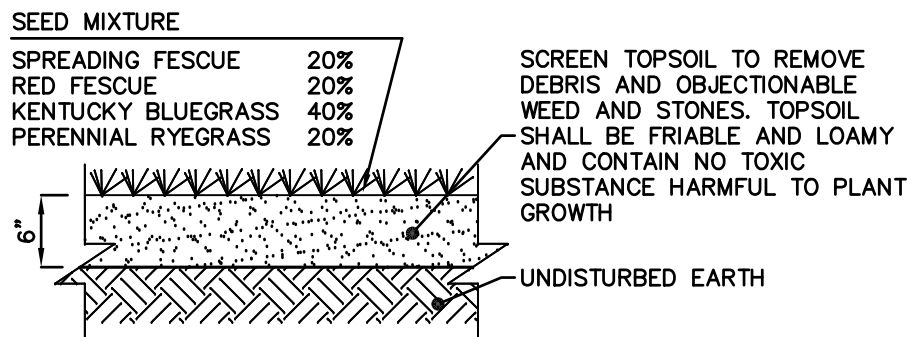
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C3.3



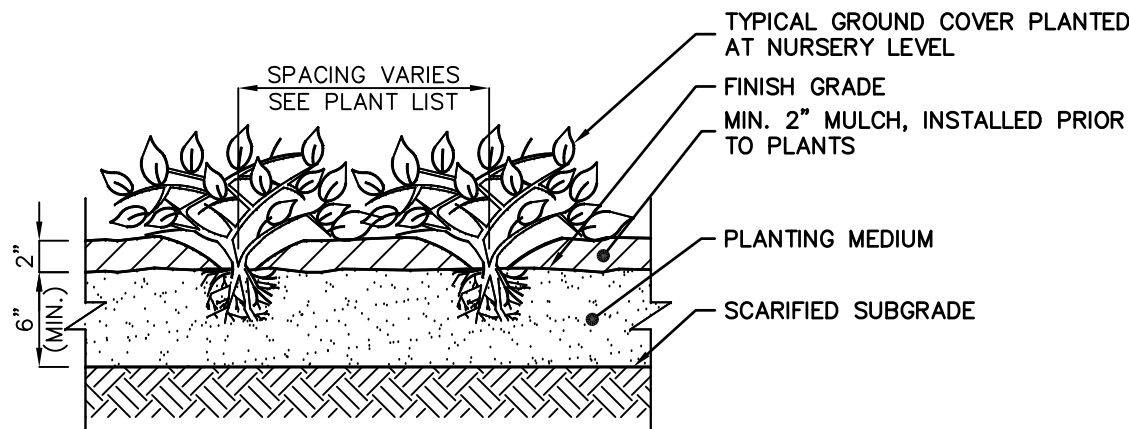
SOD DETAIL

NOT TO SCALE



TOP SOIL & GRASS DETAIL

NOT TO SCALE

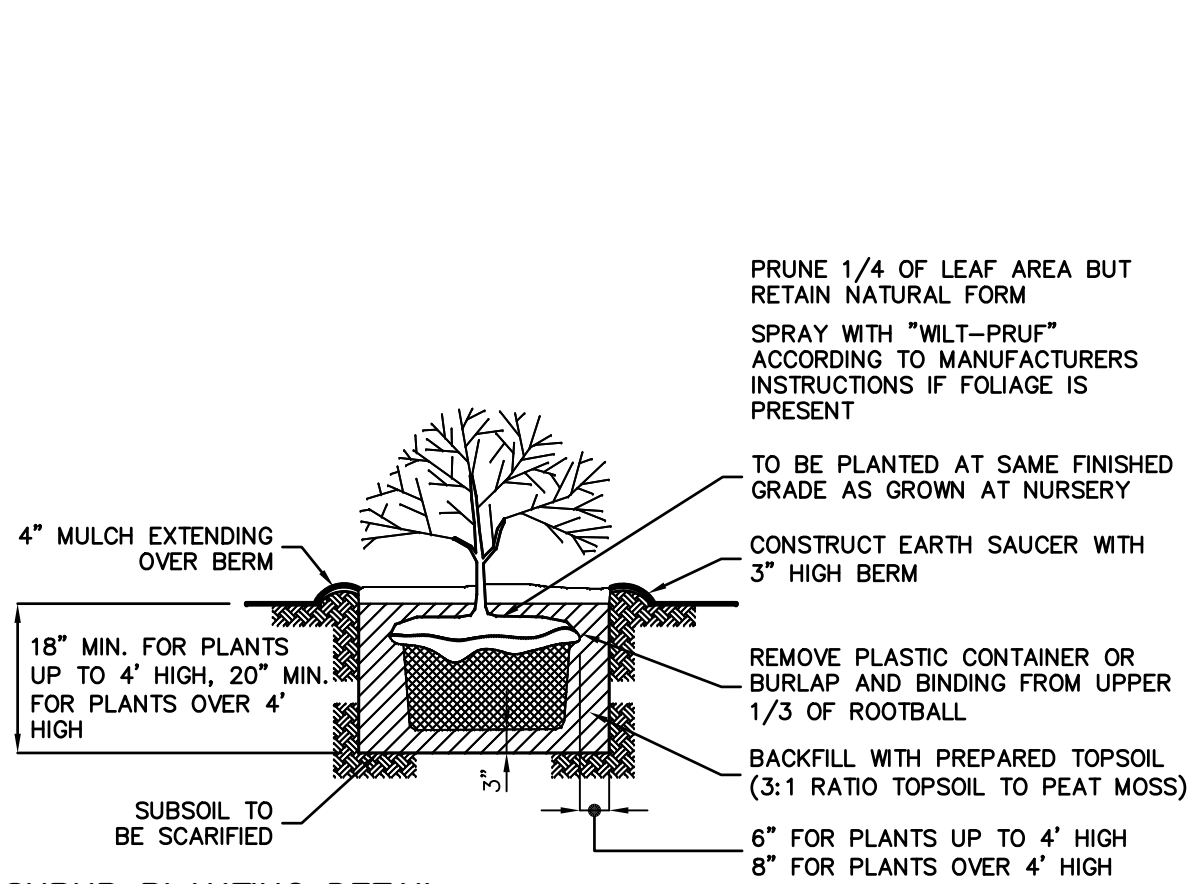


NOTES:

1. PLANTING MEDIUM SHALL BE PLANTING SOIL MIXED 50/50 WITH NATIVE SOIL OR NATIVE SOIL AMENDED WITH 25% MIN. DECOMPOSED ORGANIC MULCH AMENDMENT.
2. ALL GROUNDCOVER SHALL BE PLANTED AT EQUAL TRIANGULAR SPACING OR ON CENTER SPACING AS SPECIFIED ON LANDSCAPING PLAN.
3. LOCATE GROUNDCOVER ONE-HALF OF SPECIFIED SPACING DISTANCE FROM ANY CURB, SIDEWALK OR OTHER HARD SURFACE, UNLESS OTHERWISE SPECIFIED.

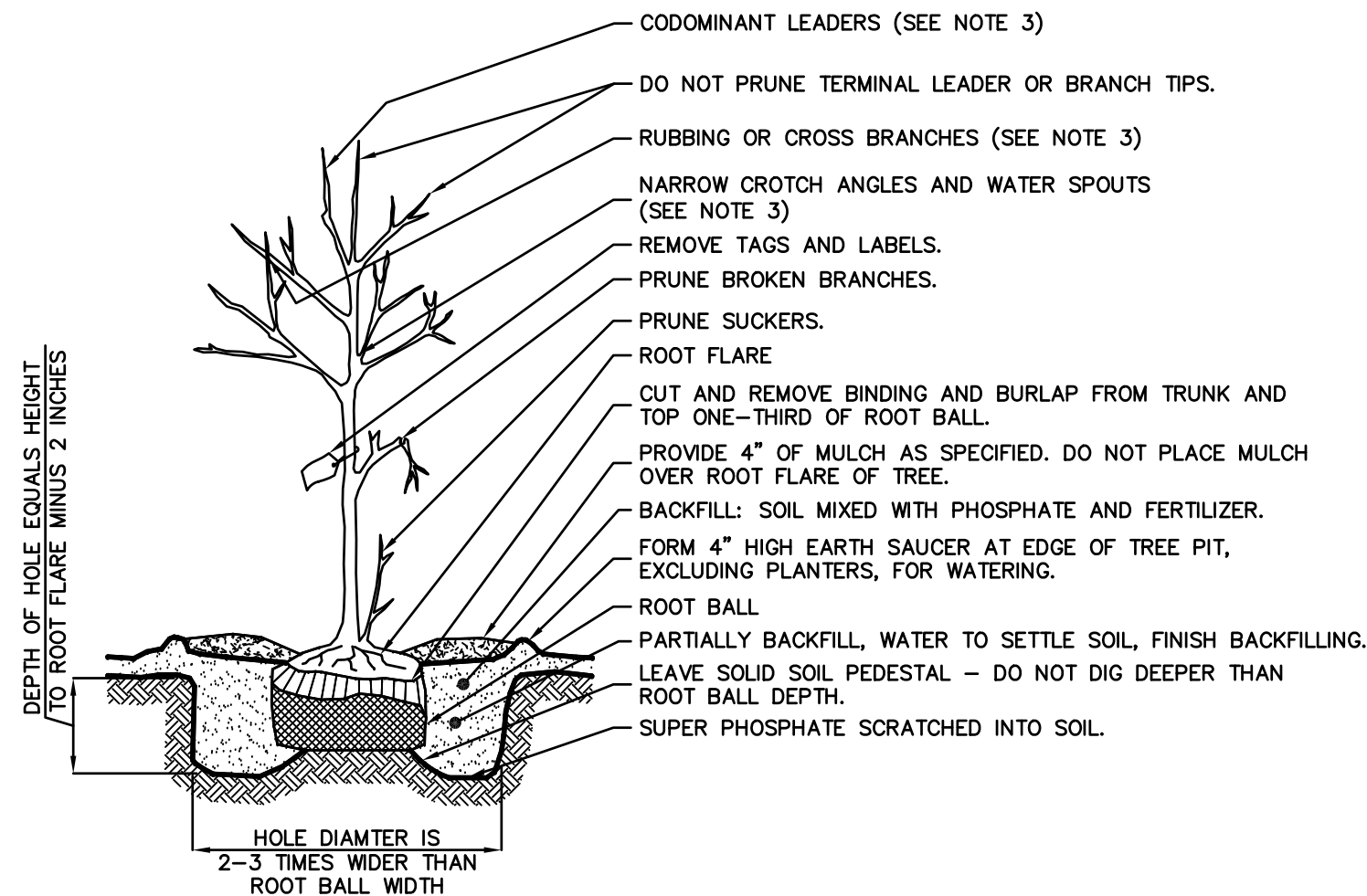
GROUNDCOVER PLANTING

NOT TO SCALE



SHRUB PLANTING DETAIL

NOT TO SCALE

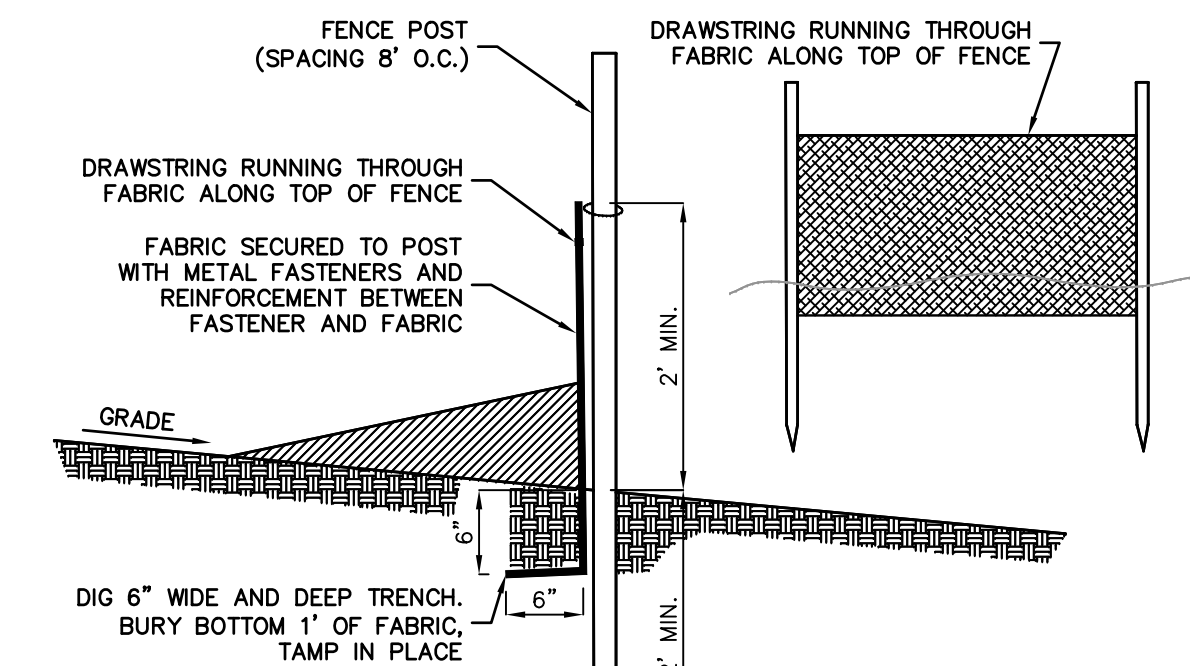


NOTES:

1. WIRE BASKETS ARE TO BE REMOVED PRIOR TO BACKFILLING THE PLANTING PIT.
2. DO NOT STAKE TREE OR WRAP TRUNK UNLESS SPECIFIED ON PLANS OR REQUIRED BY A REVIEWING ENGINEER OR INSPECTOR. IF STAKING IS REQUIRED, A DETAIL WILL BE PROVIDED. IF TRUNK WRAPPING IS REQUIRED USE A WATERPROOF, BIODEGRADABLE TREE WRAP WITH 50% OVERLAP SECURED WITH HEMP CORD TO FIRST BRANCHING.
3. AT TIME OF PLANTING, ONLY PRUNE DEAD OR BROKEN BRANCHES, ANY SUCKERS AND ANY BRANCHES THAT MAY BE A HAZARD TO PEDESTRIANS. AT 2-3 YEARS AFTER PLANTING, PRUNE THE FOLLOWING: CODOMINANT LEADERS, RUBBING OR CROSS BRANCHES, WATER SPOUTS AND BRANCHES WITH NARROW CROTCH ANGLES.

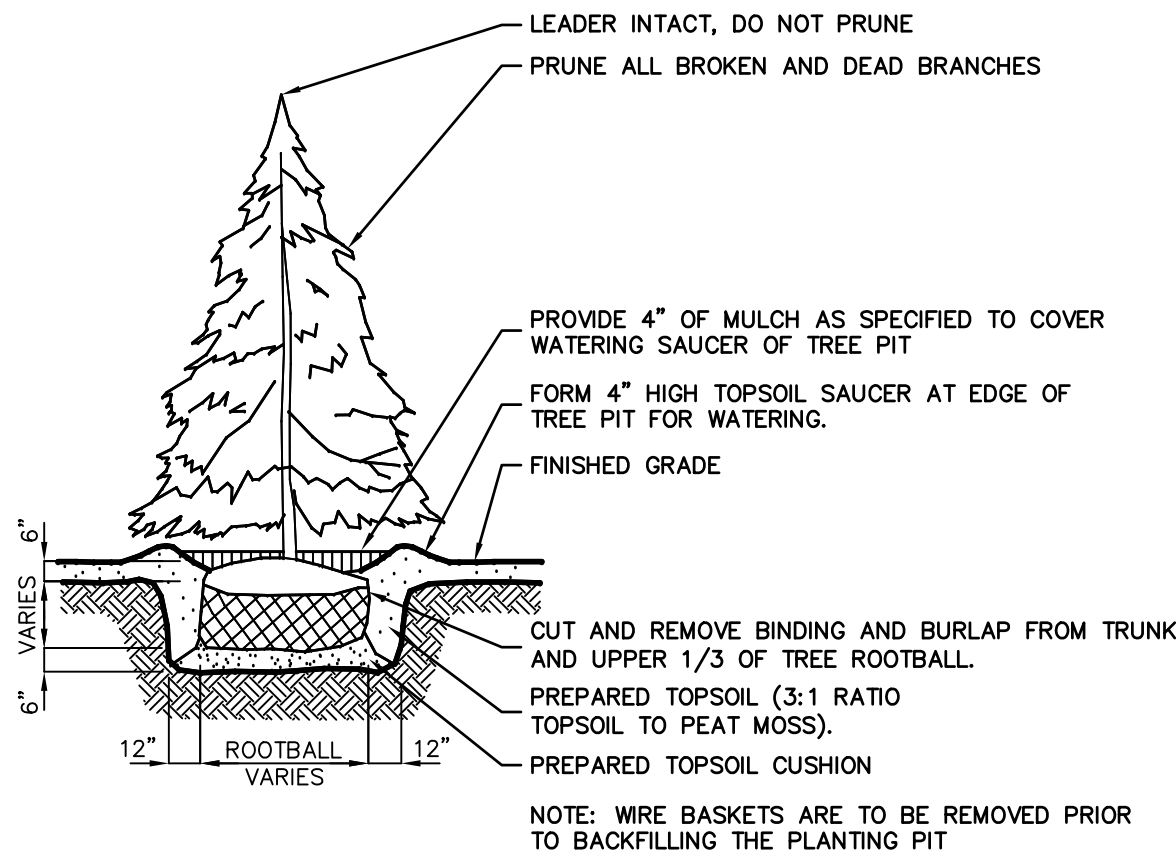
TYPICAL TREE PLANTING DETAIL

NOT TO SCALE



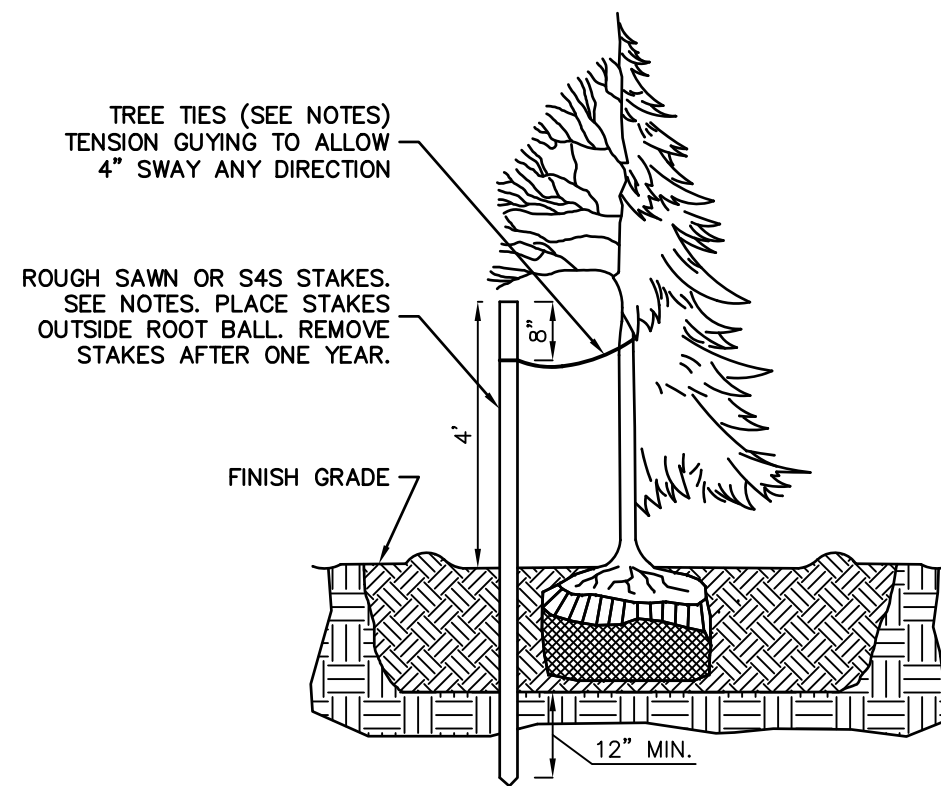
SILT FENCE

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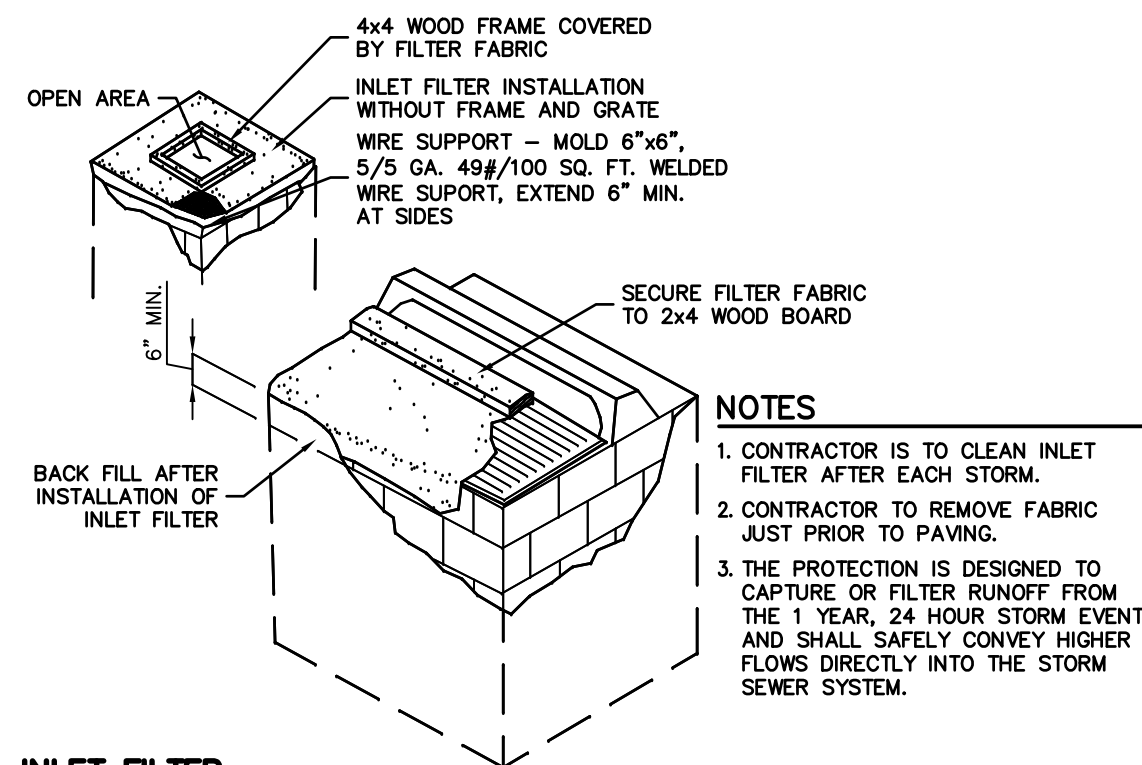
EVERGREEN TREE PLANTING DETAIL

NOT TO SCALE



TREE STAKING DETAIL

NOT TO SCALE



INLET FILTER

NOT TO SCALE

LANDSCAPE MAINTENANCE NOTES

1. PROPERTY OWNER WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL LANDSCAPING.
2. TREES AND SHRUBS: MAINTAIN FOR THE FOLLOWING MAINTENANCE PERIOD BY PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, RESTORING PLANTING SAUCERS, TIGHTENING AND REPAIRING STAKES AND GUY SUPPORTS, AND RESETTING TO PROPER GRADES OR VERTICAL POSITION, AS REQUIRED TO ESTABLISH HEALTHY, VIABLE PLANTINGS. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. RESTORE OR REPLACE DAMAGED TREE WRAPPINGS.
- GROUND COVER AND PLANTS: MAINTAIN FOR THE FOLLOWING MAINTENANCE PERIOD BY WATERING, WEEDING, FERTILIZING, AND OTHER OPERATIONS AS REQUIRED TO ESTABLISH HEALTHY, VIABLE PLANTINGS.
- THOSE PERFORMING SUCH WORK BE PROFESSIONALS CERTIFIED IN SUCH WORK. (ISA CERTIFIED, CERTIFIED TREE EXPERT CERTIFICATION AND/OR SHOW PROOF OF NOT LESS THAN 5 YEARS EXPERIENCE IN SUCH HORTICULTURAL WORK HAS BEEN OBTAINED).
3. MAINTENANCE PERIOD: 24 MONTHS FROM DATE OF SUBSTANTIAL COMPLETION AS DETERMINED BY THE BOROUGH'S LANDSCAPE ARCHITECTAND/OR BOROUGH OFFICIAL HAVING JURISDICTION.
4. NORMAL MAINTENANCE AND CARE OF ALL PLANT MATERIAL, (WATERING, ETC.) SHALL TAKE PLACE PRIOR TO THE DETERMINATION OF SUBSTANTIAL COMPLETION AS WELL IN ORDER TO PLANTED MATERIAL HEALTHY.

LANDSCAPE NOTES

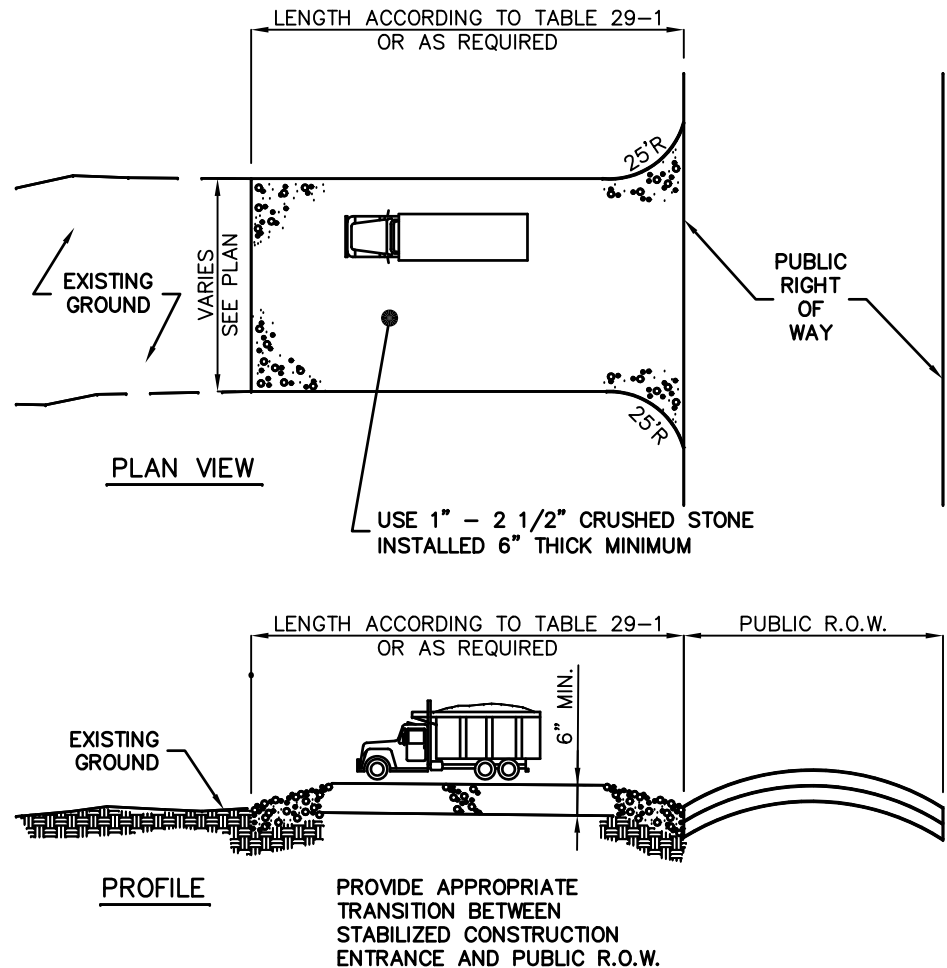
1. ALL LANDSCAPED AREAS TO RECEIVE A TWELVE INCH (12") LAYER OF COMPACTED TOPSOIL.
2. ALL PLANT MATERIAL TO BE BALLED & BURLAPPED AND CONFORM TO U.S.A. STANDARD FOR NURSERY STOCK U.S.A. 2 601-1969.
3. SHRUBS SHALL BE PLANTED IN PITS WITHIN THE BED ONE FOOT GREATER THAN THE SPREAD OF THE ROOTS AND 18" DEEP BELOW FINISH GRADE OR AS DEEP AS IS NECESSARY TO PROPERLY SET THE PLAN AT FINISH GRADE. THE DEPTH OF THE PLANTING PIT SHALL BE ADJUSTED AS NECESSARY TO PERMIT A MINIMUM OF (3") THREE INCHES OF TOPSOIL UNDER BALL OF ALL PLANTS.
4. TOP SOIL USED FOR PLANTING SHALL BE A MIXTURE OF THREE PARTS TOP SOIL TO ONE PART PEAT.
5. IMMEDIATELY AFTER PLANTING OPERATIONS ARE COMPLETED, ALL TREE & SHRUB PITS SHALL BE MULCHED WITH A (4") FOUR INCH LAYER OF ROOT MULCH. THE LIMIT OF THIS MULCH FOR TREES SHALL BE AREA OF THE PIT & FOR SHRUBS IN BEDS, THE ENTIRE AREA OF SHRUB BED.
6. CUT AND REMOVE BURLAP FROM TOP 1/3 OF BALL. NYLON ROPE AND OR NYLON BALLING MATERIAL IS NOT ACCEPTABLE.
7. IF THERE IS A DISCREPANCY BETWEEN THE PLANT COUNT SHOWN IN THE PLANT LIST AND THE PLANTING GRAPHIC, THE GRAPHIC SHALL TAKE PRECEDENCE.
8. IF THE CONTRACTOR FINDS QUESTIONABLE SUBGRADE MATERIAL/SOIL CONDITIONS THAT ARE DELETERIOUS TO PLANT SURVIVAL AND GROWTH OR INHIBIT DRAINAGE HE SHALL NOTIFY THE BOROUGH LANDSCAPE ARCHITECT AND OWNER'S LANDSCAPE ARCHITECT IMMEDIATELY AND PRIOR TO INSTALLATION OF PLANT MATERIALS UPON FINDINGS OF SUCH QUESTIONABLE MATERIAL.
9. PLANT GROUNDCOVERS IN 8" DEEP TOPSOIL BED CONSISTING OF 3 PARTS TOPSOIL AND 1 PART HUMUS. PLANT BULBS IN NATURALIZED DRIFTS.
10. TOPSOIL AND SEED ALL AREAS DISTURBED AS A RESULT OF ANY AND ALL CONSTRUCTION DISTURBANCES, OR STORAGE OF EQUIPMENT, WHETHER SUCH AREAS ARE SHOWN ON THE PLANS OR NOT. CONTRACTOR TO FIELD VERIFY AREAS OF SEED AND OF SOD PRIOR TO SUBMITTING BID.
11. CONTRACTOR SHALL REVIEW THE "PROTECTION AGAINST AND REMEDIATION OF EXCESS SOIL COMPACTION".
12. CONTRACTOR SHALL REVIEW AND COORDINATE HIS WORK WITH THAT OF THE WORK SHOWN ON THE LANDSCAPING PLAN DEVELOPED BY THE APPLICANT'S LANDSCAPE ARCHITECT.
13. UTILITIES/STRUCTURES, CONDUITS ARE TO BE PLACED ALONG THE INSIDE OF CURBING, BOTH EXISTINGAND PROPOSED TO ENSURE THAT THEY DO NOT INTERFERE WITH THE INSTALLATION/PLANTING OF PROPOSED CANOPY TREES, EVERGREEN TREES, SHRUBS AND GROUND COVER. ANY CONDUITS, LINES, STRUCTURES FOUND TO BE IN INTERFERENCE OF PROPOSED PLANTINGS SHALL BE REARRANGED, REMOVED AND REPLACED AT CONTRACTOR'S EXPENSE.
14. AT ALL AREAS PROPOSED FOR PLANTINGS AND LANDSCAPING THE CONTRACTOR SHALL REMOVE ALL EXISTING DRIVEWAY/ASPHALT PAVEMENT AND STRUCTURE MATERIALS TO FULL DEPTH INCLUDING ALL SUBBASE MATERIAL. SUBGRADE SHALL BE TILED/RIPPED TO SOFTEN SUBGRADE. ENTIRE AREA SHALL BE BACK FILLED WITH UP TO NOT LESS THAN 12" OF TOPSOIL.
15. FURNISH AN IRRIGATION SYSTEM AT ALL LANDSCAPED AREAS. IRRIGATION SYSTEM TO BE DESIGNED BY A PERSON LICENSED IN THE STATE OF NEW JERSEY.

LAWNS: SODDING AND SOIL PREPARATION NOTES

1. CONTRACTOR TO FINE GRADE AND PREPARE ALL SITE AREAS TO RECEIVE SOD. MAKE SITE SMOOTH TO FINAL GRADING PLAN ELEVATIONS, FILL IN DEPRESSIONS, LOW SPOTS AND GRADE SMOOTH.
2. ALL LAWN AREAS WITHIN LAWN LIMIT LINES TO RECEIVE 6" OF TOPSOIL PRIOR TO SODDING OPERATIONS. ONCE TOPSOIL HAS BEEN PLACED, CONSTRUCTION ACTIVITY OF ANY KIND (EXCLUDING LANDSCAPING) SHALL NOT BE PERMITTED ON OR ACROSS ANY PLANTING AREA. CONTRACTOR SHALL FULLY EXCAVATE ANY PLANTING AREA THAT IS DISTURBED AND REPLACE WITH TOPSOIL. SCARIFY SOIL TO DEPTH OF 3± INCHES PRIOR TO APPLICATION.
3. LAWNS SHALL BE SODDED FOLLOWING SCARIFYING, FINAL GRADING, FERTILIZING, AND RAKING. LAWN SHALL BE FERTILIZED WITH 12-12-12 ANALYSIS FERTILIZER AT A RATE OF 10 LBS/1,000 SF.
4. WATER AND MAINTAIN GRASS UNTIL STAND IS ESTABLISHED AND READY FOR MOWING AT MINIMUM 4 INCH HEIGHT. CONTINUE TO WATER FOR A MINIMUM 30 DAYS OR UNTIL ACCEPTED BY OWNER.
5. FOLLOWING SODDING OPERATIONS, CLEAN UP EXCESS MATERIALS, AND CLEAN ALL BARK MULCHED AND PAVED AREAS. ALL LAWNS SHALL BE GUARANTEED TO HAVE A UNIFORM STAND OF ACCEPTABLE GRASS AT THE END OF THE ONE YEAR GUARANTEE PERIOD WITH NO BARE SPOTS COMPRIZING MORE THAN 2% OF ANY LAWN AREA. ANY AREA SO NOTED WILL BE SODDED UNTIL AN ACCEPTABLE STAND OF GRASS IS ESTABLISHED.
6. ALL DISTURBED LAWN AREAS SHALL BE SODDED AS NOTED AND AS APPROVED BY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.

LAWNS: SEEDING AND SOIL PREPARATION NOTES

1. CONTRACTOR TO FINE GRADE AND PREPARE ALL SITE AREAS TO RECEIVE SEED. MAKE SITE SMOOTH TO FINAL GRADING PLAN ELEVATIONS, FILL IN DEPRESSIONS, LOW SPOTS AND GRADE SMOOTH.
2. ALL LAWN AREAS WITHIN LAWN LIMIT LINES TO RECEIVE 6" OF TOPSOIL PRIOR TO SEEDING OPERATIONS. ONCE TOPSOIL HAS BEEN PLACED, CONSTRUCTION ACTIVITY OF ANY KIND (EXCLUDING LANDSCAPING) SHALL NOT BE PERMITTED ON OR ACROSS ANY PLANTING AREA. CONTRACTOR SHALL FULLY EXCAVATE ANY PLANTING AREA THAT IS DISTURBED AND REPLACE WITH TOPSOIL.
3. HYDROSEEDING IS ACCEPTABLE. APPLY WITH APPROVED EQUIPMENT DESIGNED FOR PROFESSIONAL HYDROSEEDING APPLICATIONS AT RECOMMENDED RATES.
4. PROVIDE FRESH, CLEAN NEW-CROP "PREMIUM" GRADE SEED AND SEED MIXES AS FOLLOWS: (SUBMIT SEASONAL MIX ALTERNATIVE AS APPROPRIATE)
40% KENTUCKY BLUEGRASS
30% PERENNIAL RYE GRASS
30% TURF TYPE TALL FESCUE
5. APPLY SEED AT RATE OF MINIMUM 175 POUNDS PER ACRES (4 LBS/1,000 SF).
6. SCARIFY SOIL TO DEPTH OF 3 INCHES PRIOR TO APPLICATION.
7. LAWNS SHALL BE SEEDED FOLLOWING SCARIFYING, FINAL GRADING, FERTILIZING, AND RAKING. LAWNS SHALL BE FERTILIZED WITH 12-12-12 ANALYSIS FERTILIZER AT A RATE OF 10 LBS/1,000 SF. APPLY SEED MIX AT SPECIFIED RATE, AND LIGHTLY RAKE INTO TOP 1/4 INCH OF SOIL.
8. MULCH SEEDED AREAS WITH STRAW MULCH AT RATE OF MINIMUM 1 1/2 TON PER ACRE (70 LBS/1,000 SF). GRIMP OR TACK STRAW MULCH TO REMAIN IN PLACE UNTIL COMPLETE GERMINATION OF SEED AND ESTABLISHED GROWTH.
9. WATER AND MAINTAIN GRASS UNTILL STAND IS ESTABLISHED AND READ FOR MOWING AT MINIMUM 4 INCH HEIGHT. CONTINUE TO WATER FOR A MINIMUM 30 DAYS OR UNTIL ACCEPTED BY OWNER.
10. FOLLOWING SEEDING OPERATIONS, CLEAN UP EXCESS MATERIALS, AND CLEAN ALL BARK MULCHED AND PAVED AREAS.
11. FOLLOWING GERMINATION, APPLY HERBICIDE TO ALL GRASS GROWTH IN PLANT MULCH AREAS.
12. ALL LAWNS SHALL BE GUARANTEED TO HAVE A FULL UNIFORM STAND OF ACCEPTABLE GRASS AT THE END OF THE ONE YEAR GUARANTEE PERIOD WITH NO BARE SPOTS COMPRISING MORE THAN 2% OF ANY LAWN AREA. ANY AREA SO NOTED WILL BE RESEDED OR SODDED UNTIL AN ACCEPTABLE STAND OF GRASS IS ESTABLISHED.
13. ALL DISTURBED LAWN AREAS SHALL BE SEEDED AS NOTED AND AS APPROVED BY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.



PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0 TO 2%	50 FT	100 FT
2 TO 5%	100 FT	200 FT
> 5%	ENTIRE SURFACE STABILIZED WITH FABC BASE COURSE	

STABILIZED CONSTRUCTION ACCESS

NOT TO SCALE

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MA LIC. NO. 40595 NY LIC. NO. 60022
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ERIC M. HOUGH, P.E.
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16

ERIC M. HOUGH, P.E.
PROFESSIONAL ENGINEER
NJ LIC. NO. 51893

NO.	DATE	REVISION	DETAILS	RE-ISSUE	J.A.S.	V.L.
1	3-19-24	REMOVE SOIL	EROSION DETAILS	4-16-25		
2	4-16-25	RE-ISSUE				

DRAWING TITLE

LANDSCAPE
DETAILS

PROJECT

**RESIDENTIAL
DEVELOPMENT**

BLOCK 4201.01, LOT 33.03
GROVERS MILL ROAD & MALL ACCESS ROAD
TOWNSHIP OF LAWRENCE
MERCER COUNTY, NEW JERSEY

CLIENT

TRICONE
2525 US-130 SUITE B4
CRANBURY, NJ 08512

CERTIFICATE OF AUTHORIZATION
24GA28068900 / 21MH00002800

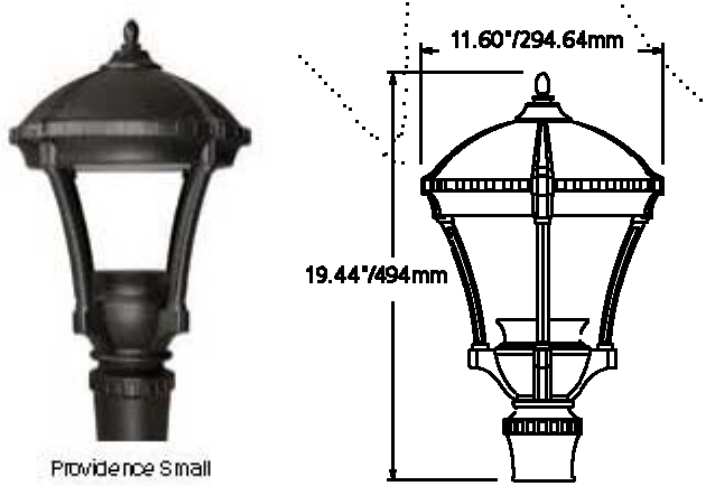
DRAWN BY V.L.	CHECKED BY C.J.B.
SCALE AS SHOWN	PROJECT NO. 21-210
DATE 10-12-23	REVISION NO. 2

DRAWING NO.



"PROVIDENCE SMALL (PROS)" LED AREA LIGHT FIXTURE, MANUFACTURED BY ARCHITECTURAL AREA LIGHTING. SEE LIGHTING SCHEDULE FOR MODEL NUMBER(S), MOUNTING HEIGHT(S), LED COLOR TEMPERATURE(S), LIGHTING DISTRIBUTION(S), AND LUMENS.

AREA LIGHT FIXTURE DETAIL
(AREA LIGHTS "B2", "B3" & "B4")



NOT TO SCALE

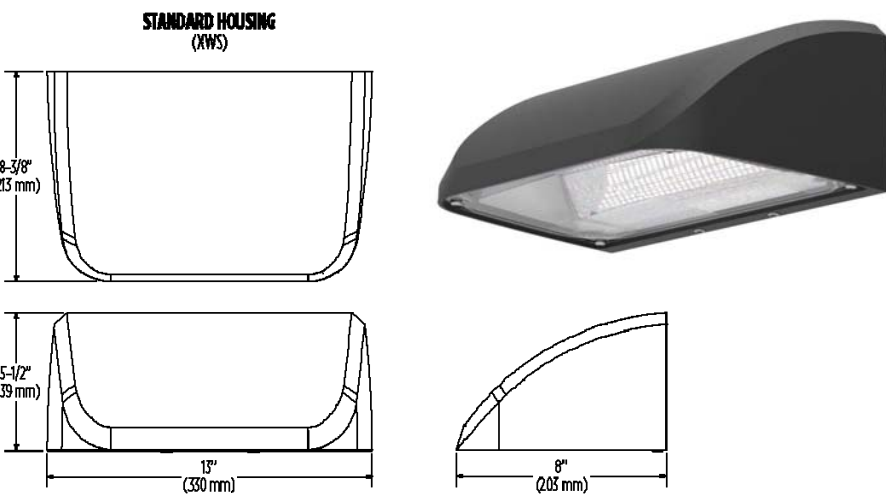


"PROVIDENCE MEDIUM (PROV2)" LED AREA LIGHT FIXTURE, MANUFACTURED BY ARCHITECTURAL AREA LIGHTING. SEE LIGHTING SCHEDULE FOR MODEL NUMBER(S), MOUNTING HEIGHT(S), LED COLOR TEMPERATURE(S), LIGHTING DISTRIBUTION(S) AND LUMENS.

AREA LIGHT FIXTURE DETAIL
(AREA LIGHTS "A1S", "A2", "A3", "A3S", "A4", "A4S", & "A5W")



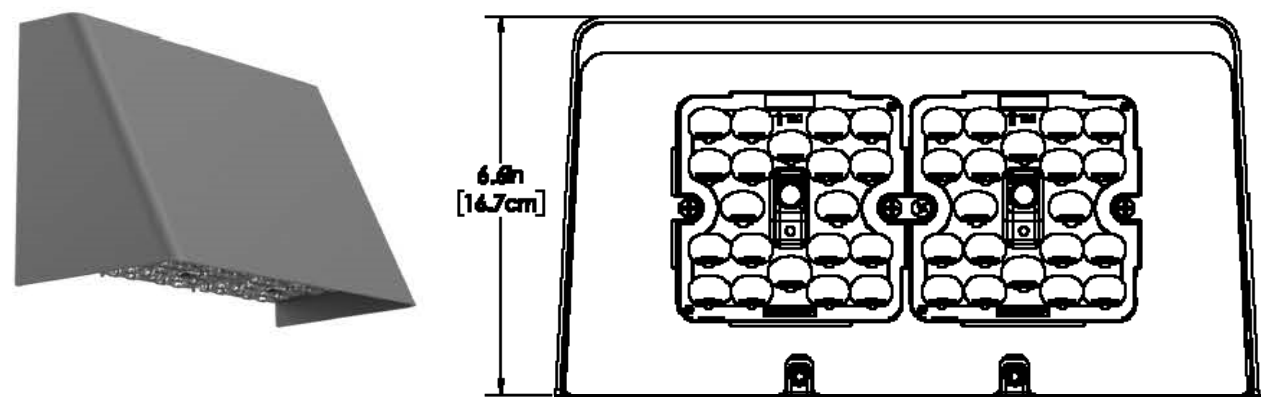
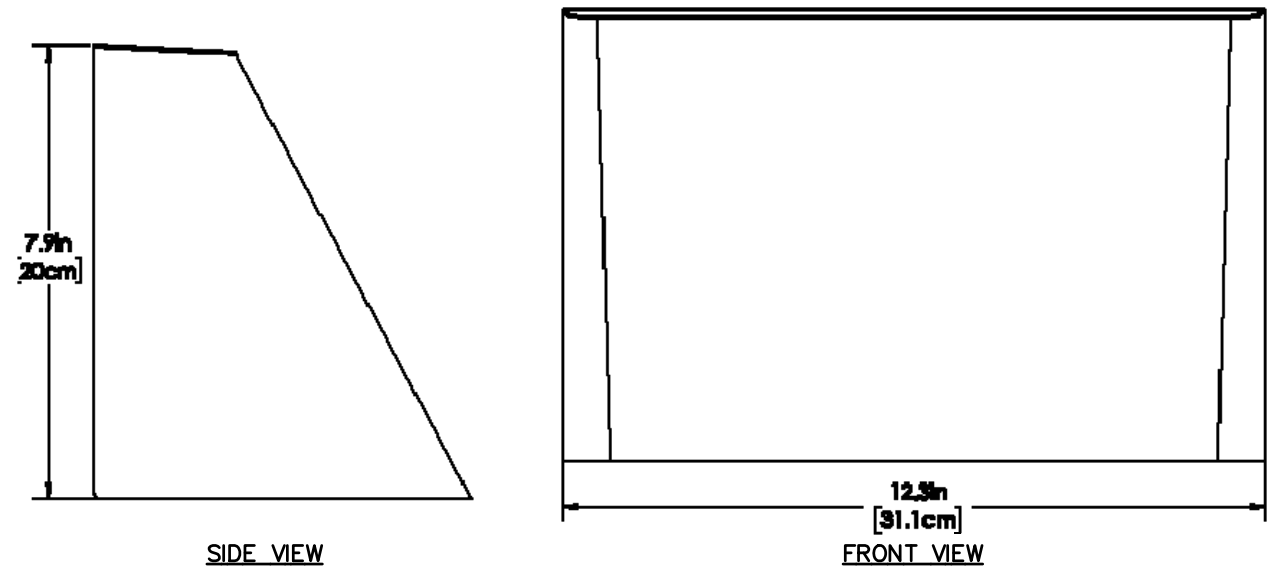
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"MIRADA SMALL WALL SCONCE VISUAL COMFORT (XWS VC1)" LED WALL LIGHT, MANUFACTURED BY LSI INDUSTRIES. SEE LIGHTING SCHEDULE FOR MODEL NUMBER(S), MOUNTING HEIGHT(S), LED COLOR TEMPERATURE(S), LIGHTING DISTRIBUTION(S) AND LUMENS.

WALL LIGHT FIXTURE DETAIL
(WALL LIGHT "W1")

NOT TO SCALE



"GEOFORM WEDGE MEDIUM LED WALL SCONCE" (GWM), MANUFACTURED BY GARDCO. SEE LIGHTING SCHEDULE FOR MODEL NUMBER(S), MOUNTING HEIGHT(S), COLOR TEMPERATURE(S), AND LUMENS.

WALL LIGHT FIXTURE DETAIL
(WALL LIGHTS "W4" & "W5")

NOT TO SCALE

urban ambiance	
UQL1503	
EXTERIOR WALL SCONCE	
Fixture Collection Name	Subtle
Fixture Finish	Antique Black
Fixture Material	Steel
Shade Material	Clear Glass
Bulb Base Type	Medium Base
Bulb Wattage	100/03
Number of Bulbs Req.	1
Bulbs Included	No
Primary Style	Modern
Location Rating	Wall Location
Weight (in LBS)	5.83
Chain Length	None
Extension Rods	None
Ceiling / Back Plate Dies.	5.253 x 8.000 inches
Power Wire Length	0.5 Feet
LED Bulb Compatible	Yes
Slipped Ceiling Compatible	No

OUTLET BOX CENTER

4"

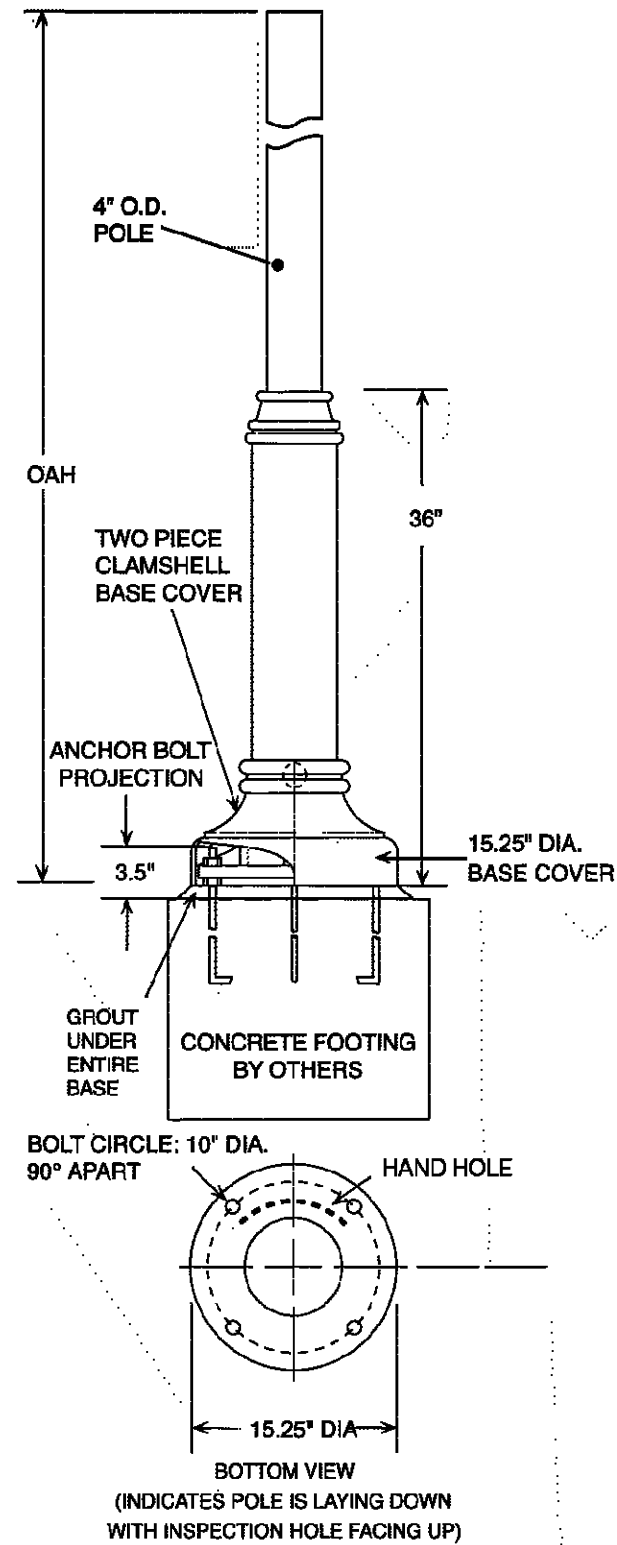
13.25"

6.75"

EXTERIOR WALL SCONCE, MANUFACTURED BY URBAN AMBIANCE. FOR USE WITH A 9W LED 3000K LIGHT BULB. SEE LIGHTING SCHEDULE FOR MODEL NUMBER(S), MOUNTING HEIGHT(S), LED COLOR TEMPERATURE(S), LIGHTING DISTRIBUTION(S) AND LUMENS.

WALL SCONCE FIXTURE DETAIL
(WALL SCONCES "W2" & "W3")

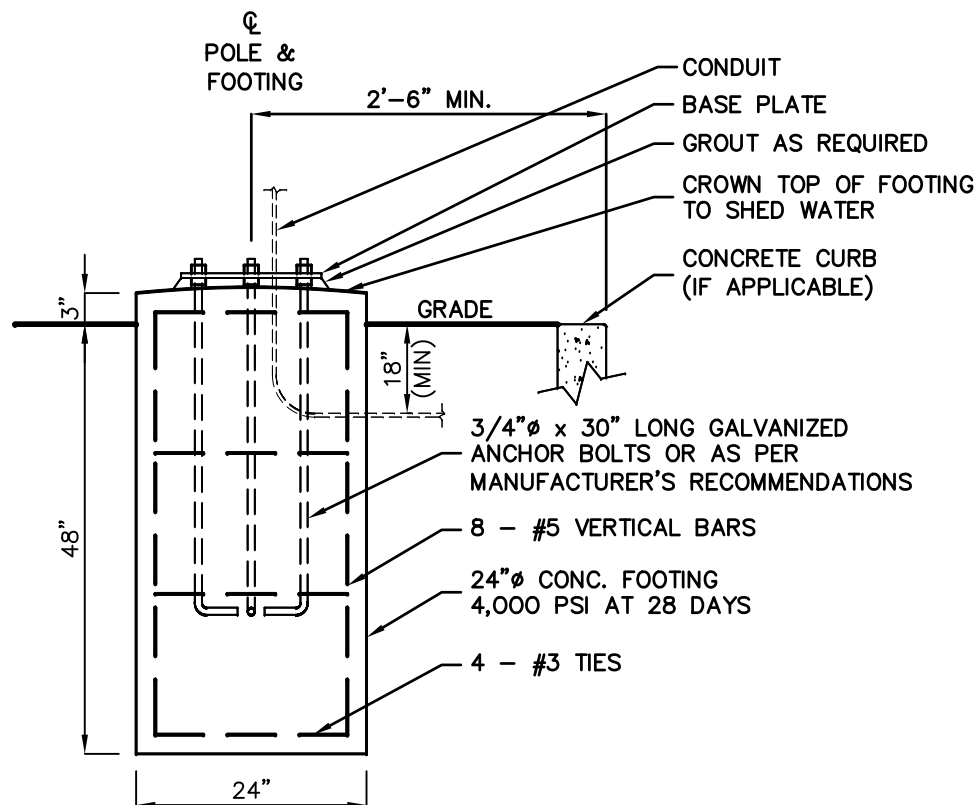
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DECORATIVE AREA LIGHT POLE (DB6), MANUFACTURED BY ARCHITECTURAL AREA LIGHTING. FOR AREA LIGHTS "B1" & "B2", OAH = 12 FT. MODEL NO: DB6-4R12-125-12 FOR ALL OTHER AREA LIGHTS, OAH = 16 FT. MODEL NO: DB6-4R16-125-16

AREA LIGHT POLE DETAIL

NOT TO SCALE



AREA LIGHT FOOTING DETAIL

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MA LIC. NO. 40595 NY LIC. NO. 60022
NH LIC. NO. 9368 RI LIC. NO. 6694

ERIC M. HOUGH, P.E.

PROFESSIONAL ENGINEER
NJ LIC. NO. 51893

NOT TO SCALE/DETAILS

NO.	DATE	REVISION	J.A.S.	V.L.
2	4-16-25	RE-SSUE		
1	3-19-24	RE-SSUE		

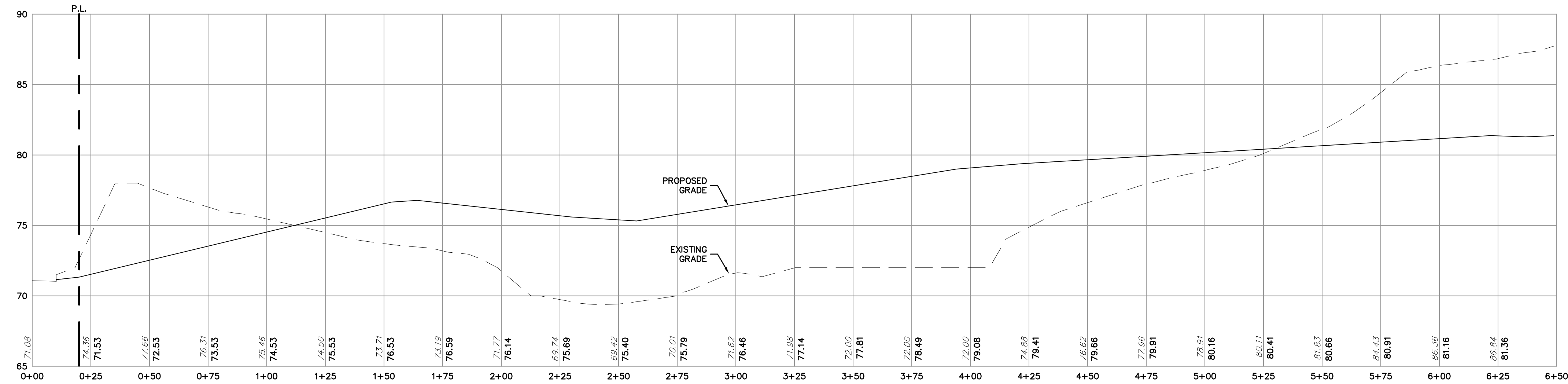
DRAWING TITLE
**LIGHTING
DETAILS**

PROJECT
**RESIDENTIAL
DEVELOPMENT**
BLOCK 4201.01, LOT 33.03
GROVERS MILL ROAD & MALL ACCESS ROAD
TOWNSHIP OF LAWRENCE
MERCER COUNTY, NEW JERSEY

CLIENT
TRICONE
2525 US-130 SUITE B4
CRANBURY, NJ 08512

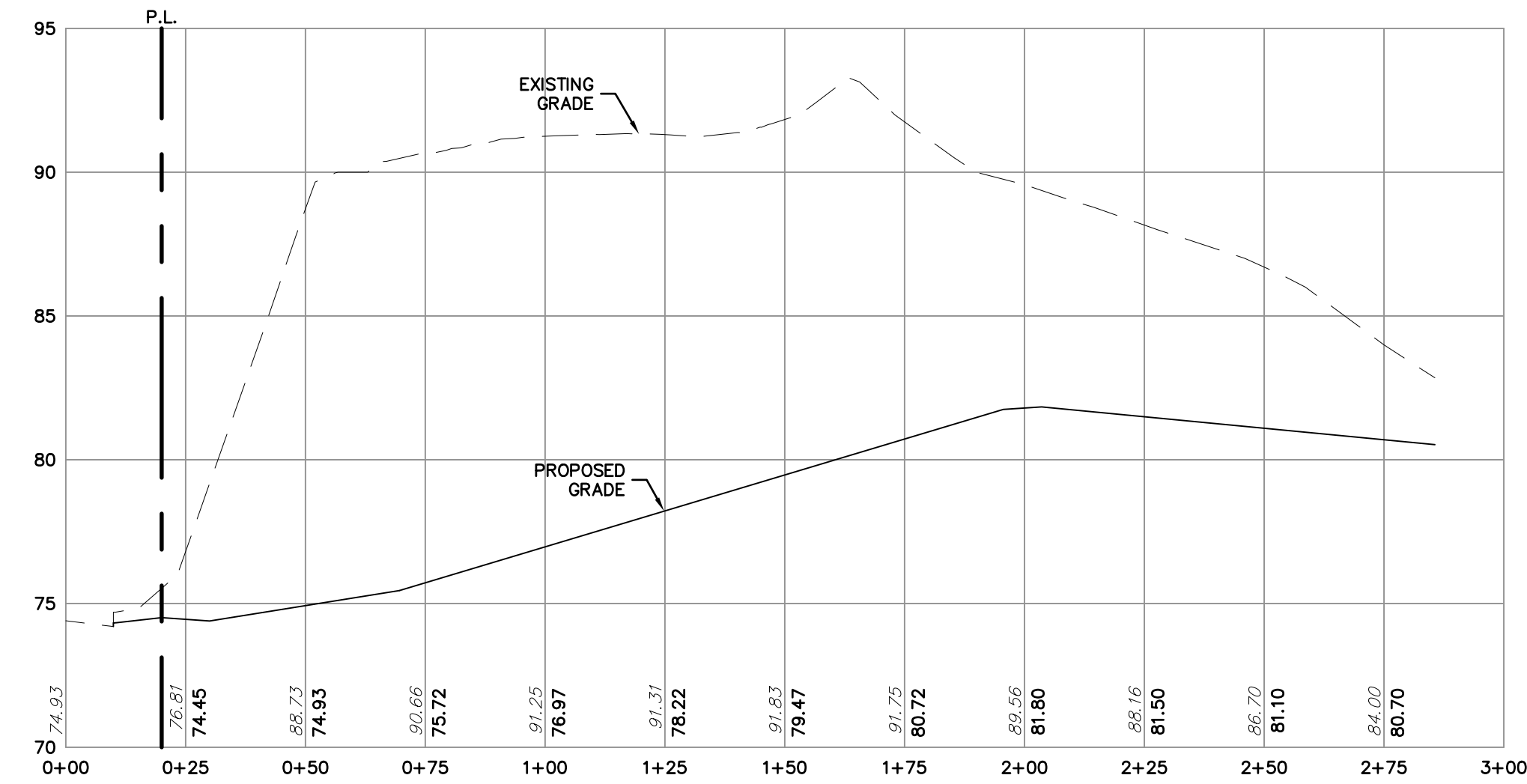
CERTIFICATE OF AUTHORIZATION 24GA28068900 / 21MH00002800	
DRAWN BY J.A.S.	CHECKED BY C.J.B.
SCALE AS SHOWN	PROJECT NO. 21-210
DATE 10-12-23	REVISION NO. 2

DRAWING NO.
C3.5



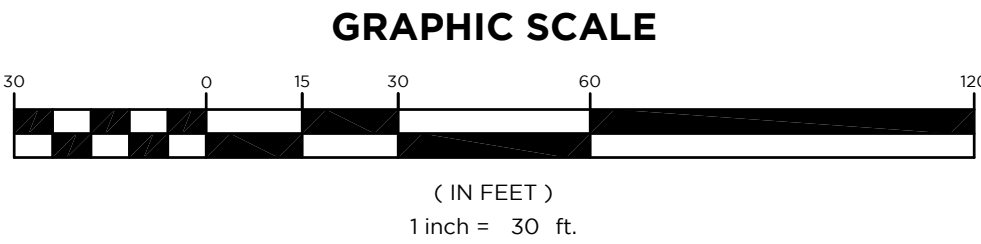
PROPOSED DRIVEWAY PROFILE A

SCALE: V: 1"=5'
H: 1"=30'



PROPOSED DRIVEWAY PROFILE B

SCALE: V: 1"=5'
H: 1"=30'



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NH LIC. NO. 9368 RI LIC. NO. 6694

[Signature]

ERIC M. HOUGH, P.E.

PROFESSIONAL ENGINEER

NJ LIC. NO. 51893

NOT VALID OVER SEALS

NO.		DATE	REVISION
2	4-8-25	REVISE DRIVEWAY PROFILES	
1	6-3-24	REVISED AS PER SITE PLAN	

DRAWING TITLE
**ROAD
PROFILES**

PROJECT

**RESIDENTIAL
DEVELOPMENT**

BLOCK 4201.01, LOT 33.03
GROVERS MILL ROAD & MALL ACCESS ROAD
TOWNSHIP OF LAWRENCE
MERCER COUNTY, NEW JERSEY

CLIENT

TRICONE
2525 US-130 SUITE B4
CRANBURY, NJ 08512

CERTIFICATE OF AUTHORIZATION
24GA28068900 / 21MH00002800

DRAWN BY M.B.L.	CHECKED BY C.J.B.
SCALE AS SHOWN	PROJECT NO. 21-210
DATE 3-19-24	REVISION NO. 2

DRAWING NO.

C4.1